



OPEN MEETING

REGULAR OPEN MEETING OF THE UNITED LAGUNA WOODS MUTUAL ARCHITECTURAL CONTROL AND STANDARDS COMMITTEE*

**Thursday, December 21, 2023 – 9:30 a.m.
Laguna Woods Village Board Room /Virtual Meeting
24351 El Toro Road, Laguna Woods, CA 92637**

Laguna Woods Village owners/residents are welcome to participate in all open committee meetings and submit comments or questions regarding virtual meetings using one of two options:

1. Join via Zoom by clicking this link: <https://us06web.zoom.us/j/91432172027> or by calling 669-900-6833 Webinar ID: 91432172027.
2. Via email to meeting@vmsinc.org any time before the meeting is scheduled to begin or during the meeting. Please use the name of the committee in the subject line of the email. Name and unit number must be included.

NOTICE and AGENDA

This Meeting May Be Recorded

1. Call to Order
2. Acknowledgement of Media
3. Approval of Agenda
4. Approval of Meeting Report for November 16, 2023
5. Chair's Remarks
6. Member Comments - *(Items Not on the Agenda)*
7. Division Manager Update
8. Consent: *All matters listed under the Consent Calendar are considered routine and will be enacted by the Committee by one motion. In the event that an item is removed from the Consent Calendar by members of the Committee, such item(s) shall be the subject of further discussion and action by the Committee.*
 - a. Monthly Mutual Consent Report
9. Variance Requests
 - a. 216-D: Variance to Convert Laundry to Bathroom
10. Items for Discussion and Consideration
 - a. Revision to Architectural Standard 18: Gutters & Downspouts

11. Items for Future Agendas

- a. Revised Resale Inspection Fee
- b. Revision to Architectural Standard 20: Patio and Balcony Covers; Aluminum and Vinyl
- c. Enact Architectural Standard 39: Balcony Enclosures

12. Concluding Business

- a. Committee Member Comments
- b. Date of Next Meeting – Thursday, January 18, 2024 at 9:30 a.m.
- c. Adjournment

*A quorum of the United Board or more may also be present at the meeting.

Anthony Liberatore, Chair
Alan Grimshaw, Manor Alterations Manager
Telephone: 949-597-4616



OPEN MEETING

**REPORT OF THE REGULAR OPEN MEETING OF THE
UNITED LAGUNA HILLS MUTUAL
ARCHITECTURAL CONTROL AND STANDARDS COMMITTEE***

**Thursday, November 16, 2023 – 9:30 a.m.
Laguna Woods Village Board Room/Virtual Meeting
24351 El Toro Road, Laguna Woods, California**

REPORT

MEMBERS PRESENT: Anthony Liberatore – Chair, Ellen Leonard, Sue Quam

STAFF PRESENT: Bart Mejia – Maintenance & Construction, Ian Barnette – Maintenance & Construction Assistant Director, Alan Grimshaw – Manor Alterations Manager, Gavin Fogg – Manor Alterations Supervisor, David Rudge – Manor Alterations Inspector II, Josh Monroy – Manor Alterations Coordinator

1. Call Meeting to Order

Chair Liberatore called the meeting to order at 9:32 a.m.

2. Acknowledgement of Media

The meeting was being broadcast on Granicus and Zoom. No media was present.

3. Approval of the Agenda

Hearing no objection, the agenda was approved by consent.

4. Approval of the Meeting Report for August 17, 2023

Hearing no objection, the meeting report was approved by consent.

5. Chair's Remarks

Chair Liberatore reminded residents to stay informed and involved by attending/viewing the ACSC meetings. Chair Liberatore also welcomed the new committee members, Ellen Leonard and Sue Quam.

6. Member Comments - (Items Not on the Agenda)

None.

7. Division Manager Update

Mr. Mejia introduced Alan Grimshaw the new Manor Alterations Manager. Mr. Grimshaw provided background on his education and experience.

8. Consent

Consent: *All matters listed under the Consent Calendar are considered routine and will be enacted by the Committee by one motion. In the event that an item is removed from the Consent Calendar by members of the Committee, such item(s) shall be the subject of further discussion and action by the Committee.*

Hearing no objection, the Monthly Mutual Consent Calendar was approved unanimously.

a. Mr. Mejia discussed the number of mutual consents issued and completed over a five-month period.

9. Variance Requests

None.

10. Items for Discussion and Consideration

a. Revision to Architectural Standard 6: Air Conditioning Units/Heat Pumps

A motion was made to recommend the United Board approve the standard. Hearing no objection, the motion was approved by unanimous consent.

b. Revision to Architectural Standard 18: Gutters & Downspouts

A motion was made to recommend the United Board approve the standard. Hearing no objection, the motion was approved by unanimous consent.

11. Items for Future Agendas

- a. Revised Resale Inspection Fee
- b. Revision to Architectural Standard 20: Patio and Balcony Covers; Aluminum

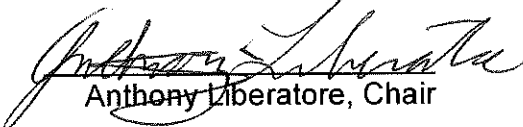
12. Committee Member Comments

- Director Quam suggested considering modern materials when reviewing Standard 20.
- Director Leonard commented on the trend contained in the mutual consent report, an increase in renovations vs. resales.

13. Date of Next Meeting: December 21, 2023 at 9:30 a.m.

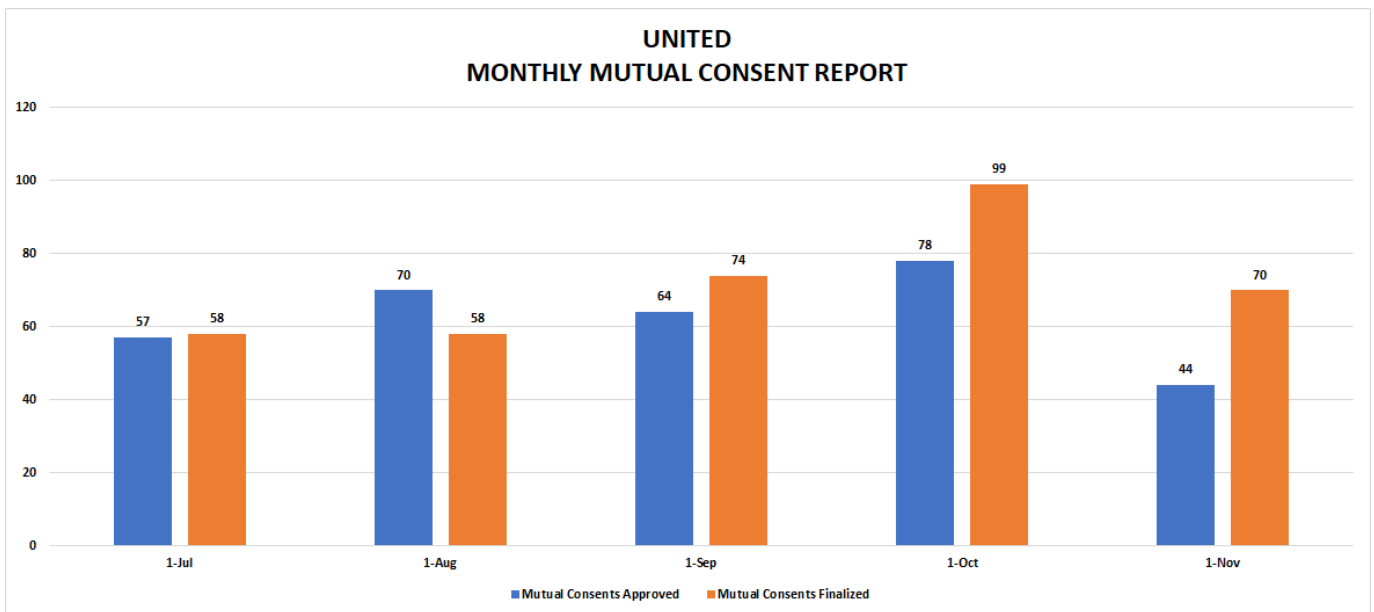
14. Adjournment

The meeting was adjourned at 10:13 a.m.



Anthony Liberatore, Chair

Anthony Liberatore, Chair
Baltazar Mejia, Staff Officer
Telephone: 949-597-4616



United ACSC – Monday December 21, 2023

Variance Requests

Agenda Item #9	Manor Address	Description of Request	Summary of Request and Staff Recommendation (*)
A	216-D	Convert Laundry to Bathroom with new window, and center Living Room and Bedroom windows	<p><u>GENERAL NOTES:</u></p> <ul style="list-style-type: none">• 216-D is one of a four-unit Manor.• Variance is to convert Laundry to Bathroom with new window, and center Living Room and Bedroom windows• All exterior finishes to match existing <p>Staff Recommendation: Approve</p>

Variance Request Form

SA _____

Model:

MADRID

Plan:

Date:

10/23/23

Contractor Name/Co:

Lucky Construction / Patrick Gil

E-mail:

patrickgil@gmail.com

Description of Proposed Variance Request ONLY:

Convert an existing laundry closet 5.5' x 5' into a
new bathroom 5.5' x 8.5'

Dimensions of Proposed Variance Alterations ONLY:

The New Bathroom dimension = 5.5' x 8.5'

FOR OFFICE USE ONLY

RECEIVED BY: _____ DATE RECEIVED: _____ Check# _____ BY: _____

Alteration Variance Request

Check Items Received:

- ☐ Drawing of Existing Floor Plan
- ☐ Drawing of Proposed Variance
- ☐ Dimensions of Proposed Variance
- ☐ Before and After Pictures
- ☐ Other: _____

Complete Submittal Cut Off Date:

Meetings Scheduled:

Third AC&S Committee (TACSC): _____

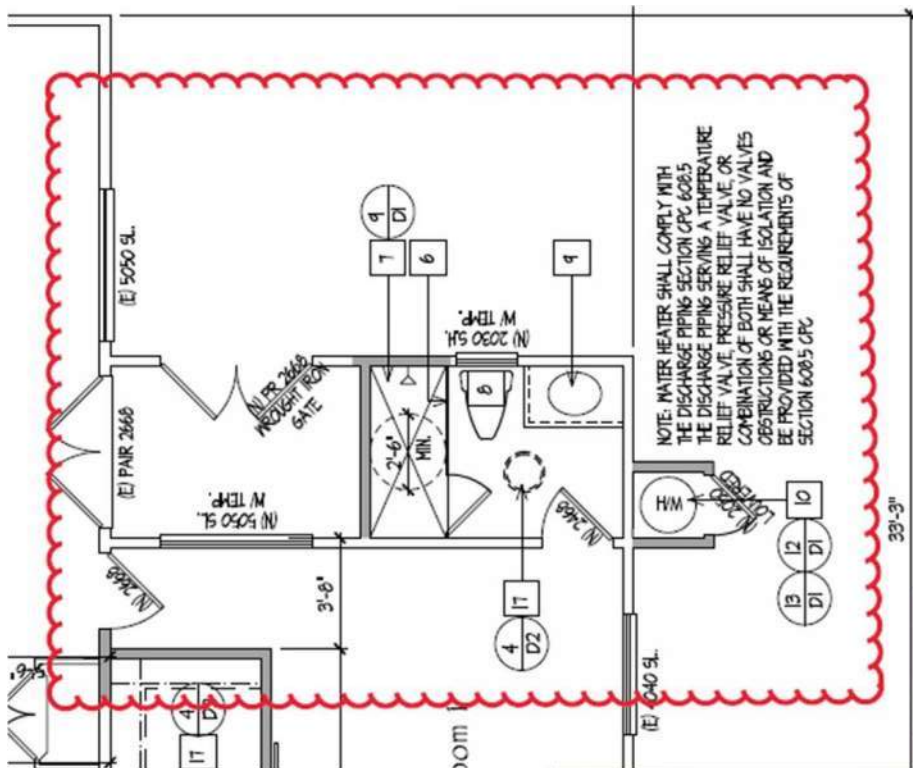
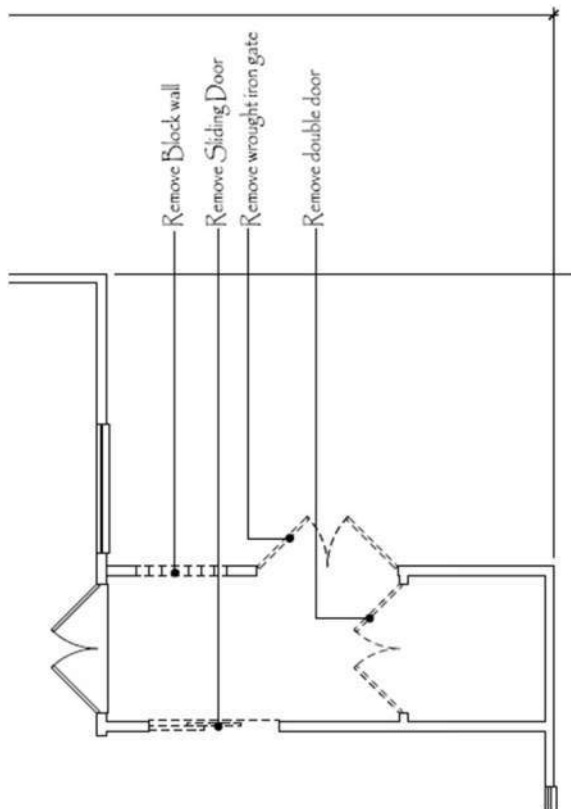
United M&C Committee: _____

Board Meeting: _____

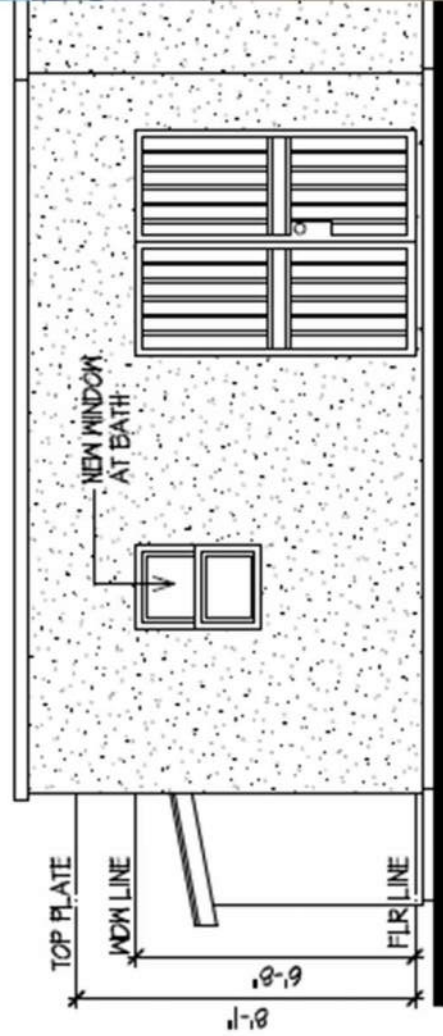
☐ Denied☐ Approved☐ Tabled☐ Other _____

ATTACHMENT 2 PHOTOS

216-D Convert Laundry to Bathroom



Move Entry Gate to right with new Bathroom Window



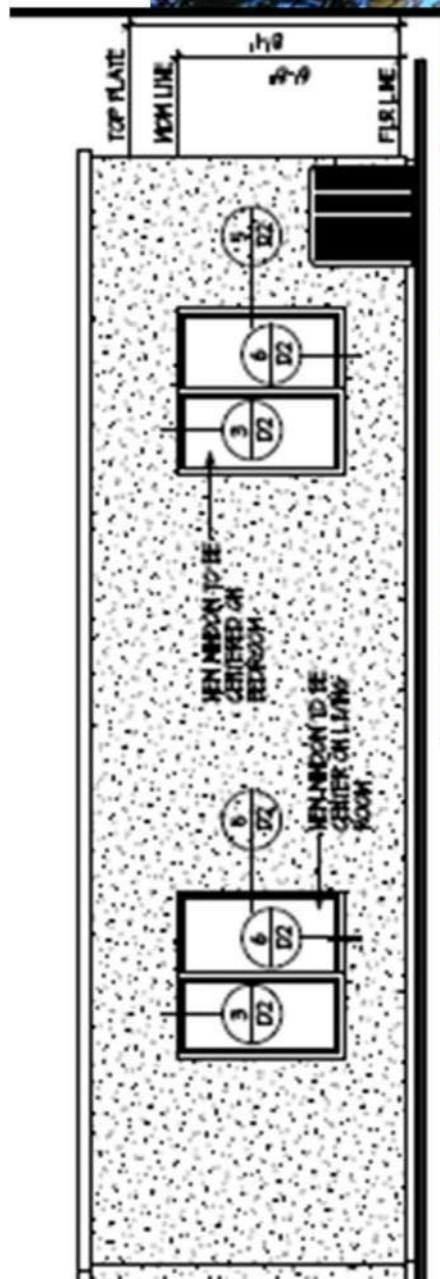
PROPOSE ELEVATION

SCALE: 1/4" = 1'-0"



November 9, 2023 11:24 AM

Center windows in Living Room and Bedroom



216-D Avenida Majorca



PROJECT:

216-D AVENIDA MAJORCA
LAGUNA WOODS, CA 92637

ATTACHMENT 4
SITE PLAN, FLOOR PLAN AND
NOTES

SHEET INDEX
CO COVER

- A1 EXISTING & PROPOSE FLOOR PLAN
- A2 UTILITY PLANS
- A3 PLUMBING PLAN & MECHANICAL PLAN
- A4 ROOF PLAN, ELEVATIONS & SECTIONS
- D1 DETAILS
- D2 DETAILS
- S0 STRUCTURAL GENERAL NOTES
- S1 FRAMING & FOUNDATION PLAN
- SD1 STRUCTURAL DETAILS
- GN1 CALgreen SHEETS
- GN2 CALgreen SHEETS

PROJECT DATA

OCCUPANCY TYPE: R-2/U

CONSTRUCTION TYPE: V-B

CalGreen 2022 EDITION

CALIFORNIA MECHANICAL CODE: 2022 EDITION

CALIFORNIA PLUMBING CODE: 2022 EDITION

CALIFORNIA ELECTRIC CODE: 2022 EDITION

CALIFORNIA ENERGY CODE: 2022 EDITION

CALIFORNIA FIRE CODE: 2022 EDITION

CALIFORNIA RESIDENTIAL CODE: 2022 EDITION

RESIDENT TO BE NON-SPRINKLER MAIN FLOOR

YEAR BUILT IS 1965

NUMBER OF STORIES= 1 FLOOR (MAIN FLOOR)

CALIFORNIA LICENSED MECHANICAL CONTRACTOR TO PROVIDE C-20 LICENSE

CALIFORNIA LICENSED PLUMBING CONTRACTOR TO PROVIDE C-36 LICENSE

SQUARE FOOTAGE

(E) BASE FLOOR 1288 sq ft

PROPOSE PATIO

ENCLOSURE 82 sq ft

PROPOSE BATHROOM ADDITION 54 sq ft

TOTAL 1424 sq ft

FOR ARCHITECTS USE ONLY • DIMENSIONS TAKEN TO FACE OF STUDS.

MINIMUM 65% MATERIAL THAT IS
REMOVED WILL BE RECYCLED

NOTES

THE IMPLEMENTATION OF THESE PLANS REQUIRE A CONTRACTOR AND / OR SUBCONTRACTOR THOROUGHLY KNOWLEDGEABLE WITH THE APPLICABLE BUILDING CODES AND METHODS OF CONSTRUCTION SPECIFIC TO THIS PRODUCT TYPE AND TYPE OF CONSTRUCTION.

WHEN AN AREA IS FOUND TO BE UNRESOLVED OR IN CONTRADICTION, E DESIGN SHALL BE CONTACTED PRIOR TO COMMENCEMENT OF WORK

SYMBOLS

BUILDING SECTION REFERENCE

A

SECTION NUMBER

14

SHEET NUMBER

KEYNOTE REFERENCE

← 3 KEYNOTE NUMBER

REVISION DELTA

2 REVISION NUMBER

DETAIL REFERENCE

4

DETAIL NUMBER

DI

SHEET NUMBER

SCOPE OF WORK

FULL KITCHEN REMODEL, REMOVE ATRIUM, SPLIT BATHROOM TO A FULL BATH AND A HALF BATH
ADD A WALK-IN CLOSET AT BEDROOM 1 ADD A FULL BATH AT BEDROOM 1
RELOCATE TWO WINDOWS TO BE CENTER ON LIVING ROOM AND BEDROOM
ADD STACKED WASHER & DRYER ADD 4X4 SKYLIGHT ONE AT KITCHEN AND THE OTHER AT DINING ADD SOLAR TUBE AT NEW BATHROOMS AND POWDER ROOM
ADD A SOLAR TUBE AT WALK-IN CLOSET

ABBREVIATIONS

ABV.	ABOVE	FTG.	FOOTING	P.L.	PROPERTY LINE
A/C	AIR CONDITIONER	F.A.U.	FORCED AIR UNIT	RAD.	RADIUS
ALT.	ALTERNATE	FR.	FRENCH	REF.	REFRIGERATOR
BA.	BATH	GI.	GALVANIZED	R/S	RE-SAWN
BM.	BEAM	GAR.	GARAGE	REV.	REVERSE
BLA	BELOW	G.D.O.	GARAGE DOOR OPENER	R.O.G.	RIDGE
BD.	BOARD	G.D.	GARBAGE DISPOSAL	R.	RISER
CAB.	CABINET	GL.	GLASS	RM.	ROOM
CASMT.	CASEMENT	G.D.	GRADE	SEC.	SECTIONAL
CLG.	CEILING	G.F.L.	GROUND FAULT INTERRUPT	SEC.	SECURITY
CL	CENTER LINE	GYP.	GYPSON	S & P	SHELF AND POLE
CER.	CERAMIC	HDR.	HEADER	SHLV.	SHELVES
CLR.	CLEAR	HT.	HEIGHT	SIM.	SIMILAR
CONC.	CONCRETE	H.C.	HOLLOW CORE	SH.	SINGLE HUNG
DETS.	DETAILS	LAM.	LAMINATED	SL.	SLIDING
DIA.	DIAMETER	LAUN.	LAUNDRY	S.C.	SOLID CORE
DN.	DISHWASHER	LAV.	LAVATORY	SQ.	SQUARE
DR.	DOOR	M.	MASTER	TEMP.	TEMPERED
D.G.	DOUBLE GLAZED	M.C.	MEDICINE CABINET	T.	TREAD
DS.	DOWNSPOUT	MTL.	METAL	TYP.	TYPICAL
EA.	EACH	MIN.	MINIMUM	UNO.	UNLESS NOTED OTHERWISE
ELEV.	ELEVATION	NT.S.	NOT TO SCALE	V.	VALLEY
EQ.	EQUAL	O.C.	ON CENTER	V.P.	VAPOR PROOF
EX.	EXHAUST	OPNG.	OPENING	VOL.	VOLUME
EXT.	EXTERIOR	OPT.	OPTION	WALK IN CLOSET	WALK IN CLOSET
FIN.	FINISH	O.	OVER	WH.	WATER HEATER
FF.	FINISH FLOOR	PAIR	PAIR	WP.	WEATHER PROOF
F.G.	FIXED GLASS	PAN.	PANTRY	W/M.	WINDOW
FLR.	FLOOR	PLT.	PLATE	W.	WITH
F.J.	FLOOR JOIST	PLYND.	PLYWOOD	WO.	WOOD
F.M.C.	FLOOR MATERIAL CHANGE	PC	PHOTO CONTROL	WL.	WROUGHT IRON
FLUOR.	FLUORESCENT	PDR.	POUNDER		

CONSULTANTS

DESIGNER

EDGAR ESPARZA
15882 SULPHUR SPRING RD
MORENO VALLEY, CA 92555
CELL: 562.965.4771

VICINITY MAP



216-D AVENIDA MAJORCA
LAGUNA WOODS, CA 92637
(CONSTRUCTION SITE)

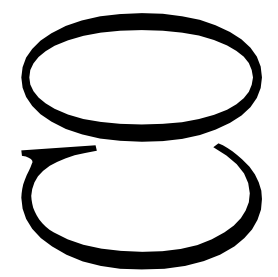
CITY NOTES

INSPECTIONS ARE REQUIRED WITHIN EVERY 180 DAYS OR ACTIVE PERMIT WILL EXPIRE.

ALL ACTIVE PLAN CHECK WILL EXPIRE IF PERMIT IS NOT PULLED WITHIN ONE YEAR OF PLAN APPROVAL FROM BUILDING AND SAFETY UNLESS AN EXTENSION IS SUBMITTED TO THE CITY AND APPROVED BY THE CITY BUILDING AND SAFETY DEPARTMENT.

ASBESTOS, IN ACCORDANCE WITH CCR, TITLE 8, 1529(f) (2)(A), EACH EMPLOYER WHO WAS A WORKPLACE OR WORK OPERATION COVERED BY CCR, TITLE 8, 1529 IS REQUIRED TO HAVE AN EXPOSURE ASSESSMENT CONDUCTED BY A COMPETENT INDIVIDUAL WHERE REQUIRED BY THE CITY OF LAGUNA WOODS, PROVIDE A COPY OF THE EXPOSURE ASSESSMENT PRIOR TO PERMIT ISSUANCE AND IF ASBESTOS WORK IS REQUIRED, A COPY OF THE SCAQMD NOTIFICATION RELATED TO THE ASBESTOS WORK.

ANY WORK REQUIRING MORE THAN \$500.00 WORTH OF MATERIAL AND LABOR COSTS SHALL BE PERFORMED BY A CALIFORNIA LICENSED CONTRACTOR FOR EACH TRADE AS REQUIRED



216-D AVENIDA MAJORCA
LAGUNA WOODS, CA 92637

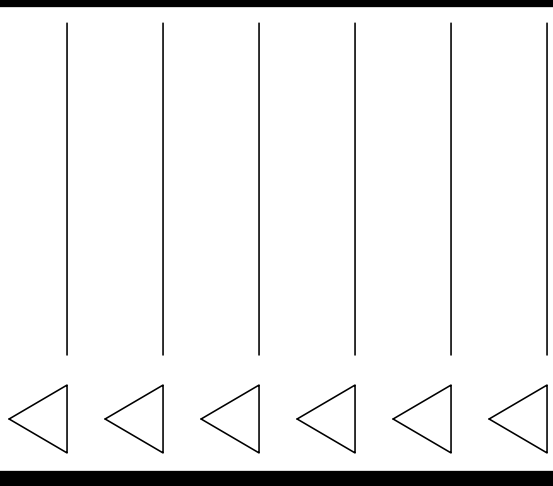
design

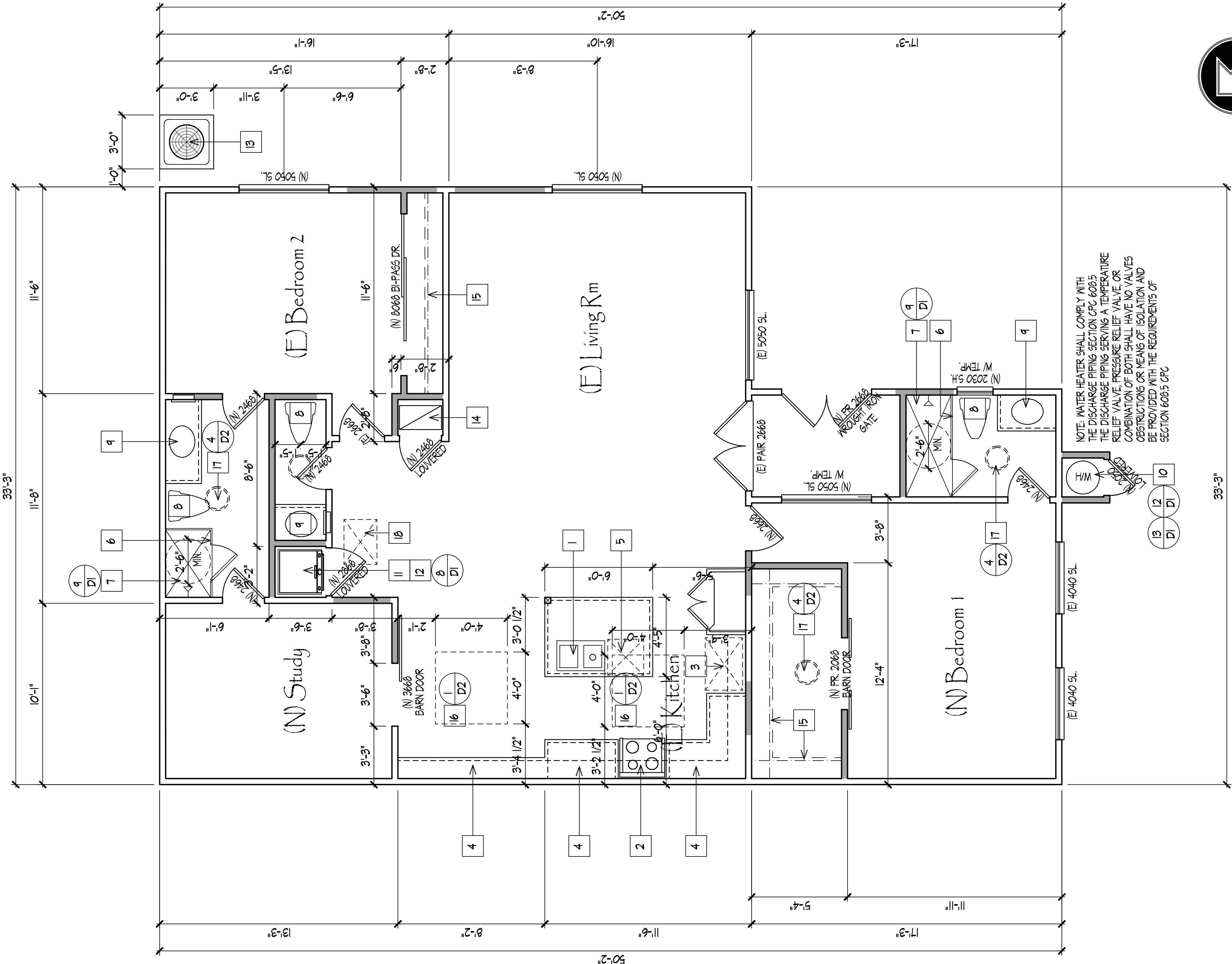
EDGAR ESPARZA
15882 SULPHUR SPRING RD
MORENO VALLEY, CA 92555
CELL: 562.965.4771

SIGNATURE:

EDGAR ESPARZA
PHONE: 562.965.4771

PLOT DATE: 11/30/2023





PROPOSE FLOOR PLAN

SCALES: 1/4"=1'-0"

FLOOR PLAN NOTES

- 1 SINK WITH GARABAGE DISPOSAL TO REMAIN

2 SLIDE-IN ELECTRIC COOKTOP RANGE WITH EXHAUST HOOD AND CONVENTIONAL OVEN BELON VENT TO O.S.A) RANGE HOOD TO VENT A MINIMUM OF 100 CFM TO REMAIN

3 36" REFRIGERATOR SPACE PROVIDE FURNISHING

4 RECESSED IN WALL FOR 1/2" HANGER TO REMAIN

5 ELEVATIONS TO REMAIN

6 SHOWER RESISTANT SHOWER ENCLOSURE-FULLY TEMPERED OR LAMINATED SAFETY GLASS TO REMAIN

7 HAND WADE SHOWER PLAN

8 WATER CLOSET (MAXIMUM 128 GALLONS PER FLUSH)

9 VANITY BY OTHERS
- 10 50 GAL. ELECTRIC WATER HEATER REFER TO DETAIL

11 PROVIDE SEISMIC STRAPS AT POINTS WITHIN THE UPPER AND LOWER ONE-THIRD OF ITS VERTICAL DIMENSIONS LOWER STRAP LOCATED TO MAINTAIN MIN. 4" DISTANCE ABOVE CONTROLS

12 PLACE WH ON 18" HIGH RIGID PLATFORM

13 PROVIDE P.T. RELIEF VALVE TO OUTSIDE OR APPROVED DRAIN

14 PROVIDE WATER HEATER CATCH PAN SHALL BE 15" IN DEPTH (CFC 5015) AND PROVIDE WASTE LINE

15 50 GAL. ELECTRIC WATER HEATER REFER TO DETAIL

16 PROVIDE SEISMIC STRAPS AT POINTS WITHIN THE UPPER AND LOWER ONE-THIRD OF ITS VERTICAL DIMENSIONS LOWER STRAP LOCATED TO MAINTAIN MIN. 4" DISTANCE ABOVE CONTROLS

17 PLACE WH ON 18" HIGH RIGID PLATFORM

18 PROVIDE P.T. RELIEF VALVE TO OUTSIDE OR APPROVED DRAIN

19 PROVIDE WATER HEATER CATCH PAN SHALL BE 15" IN DEPTH (CFC 5015) AND PROVIDE WASTE LINE

20 WASHES SPACE (PROVIDE RECESS NICH IN WALL FOR PLUMBING AND PROVIDE WASTE LINE)

21 DRYER SPACE (VENT TO O.S.A)

22 AIR CONDITIONER PAD W/ 3" PAD ABOVE NATURAL GRADE

23 FORCED AIR UNIT PER CMR

24 PROVIDE SIGNATURE PLUMBING PLAN (1/4" MIN)

25 TRAPPED DRAIN (REFER TO HVAC DRAWINGS)

26 VERIFY SIZE AND CLEARANCE
- 15 SHELF & POLE

16 4'-0"x4'-0" SKYLIGHT VELUX ESR-4108 OR APPROVED EQUAL

17 14" SOLAR TUBE VELUX ESR-4108 OR APPROVED EQUAL

18 (E) ATTIC ACCESS

FLOOR PLAN KEY	
	DEMO DROP CEILING
	NOT PART OF SCOPE OF WORK
	DROP CEILING
	DEMO WALL
	EXISTING WALL TO REMAIN
	NEW WALL

ITEM	FIXTURE	COLD WATER	HOT WATER	WASTE	VENT	STORM DRAIN	DESCRIPTION
1	BATH/TUB SHOWER COMBO	3/4"	3/4"	2"	1-1/2"	-	SELECTION TED BY OWNER
2	LAVATORY	1/2"	1/2"	2"	1-1/2"	-	12 GPM FACET SELECTION TED BY OWNER
3	WATER CLOSET	3/4"	3/4"	2"	1-1/2"	-	128 GPM GRAVITY TANK SELECTION TED BY OWNER
4	SHOWER	3/4"	3/4"	2"	1-1/2"	-	18 GPM SHOWER HEAD PROVIDE A THERMOSTATIC OR PRESSURE VALVE WITH AN ANTI-SKID AND NO SAUD PROTECTION

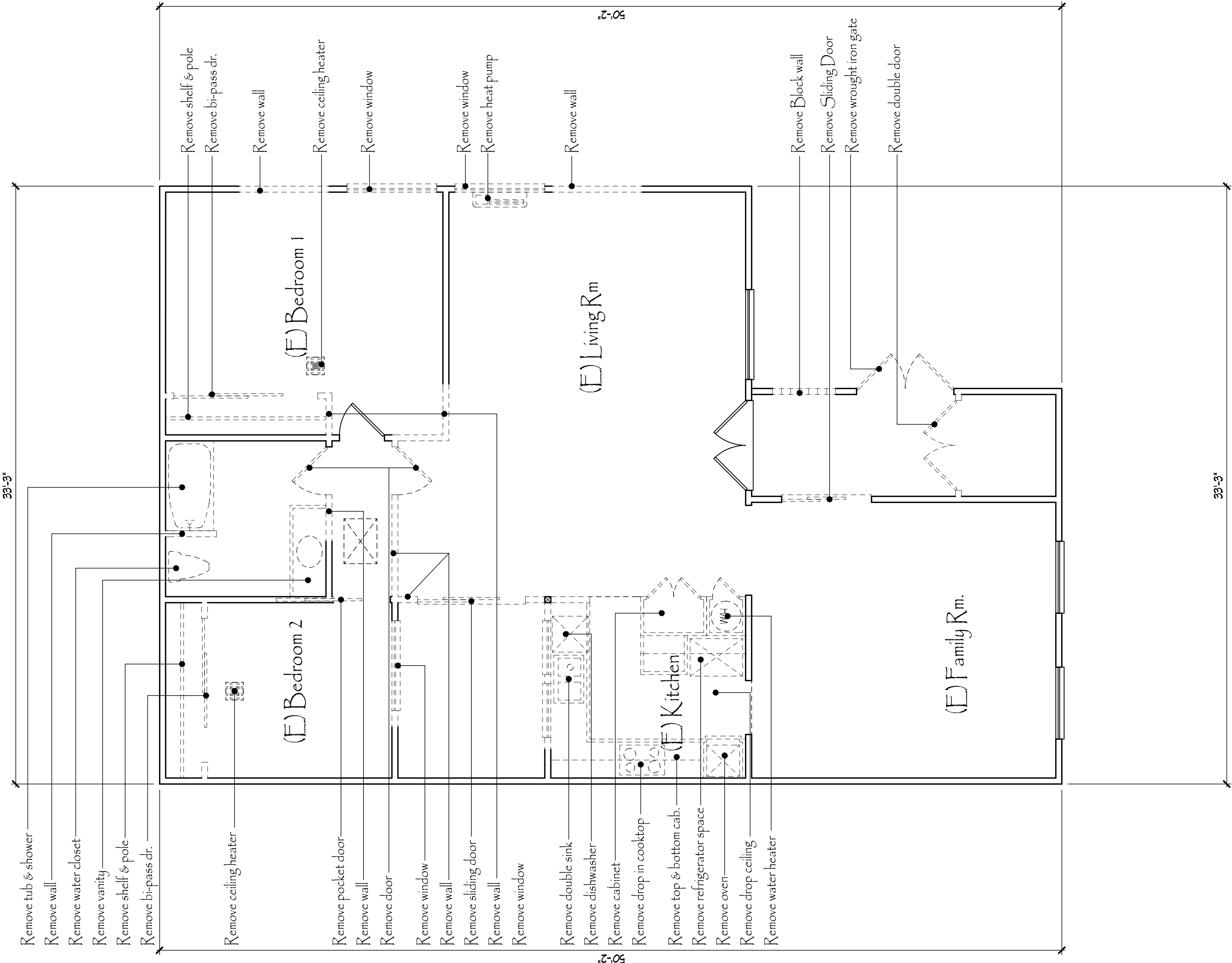
NOTE:
HABITABLE ROOMS SHALL NOT BE LESS THAN 7'-0" IN ANY HORIZONTAL DIMENSION (CFC R504.2)
CEMENT FIBER-CEMENT FIBER-MAT REINFORCED CEMENT GLASS MAT GYPSUM OR FIBER REINFORCED GYPSUM BACKERS SHALL BE USED AS BASE AND CEILING PANELS (IN SHOWERS AREAS) (CFC 2504, CFC R102.4.2)
SHOWER STALLS AND BATH/TUB WALL SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE FOR A MINIMUM OF 6'-0" ABOVE THE FLOOR

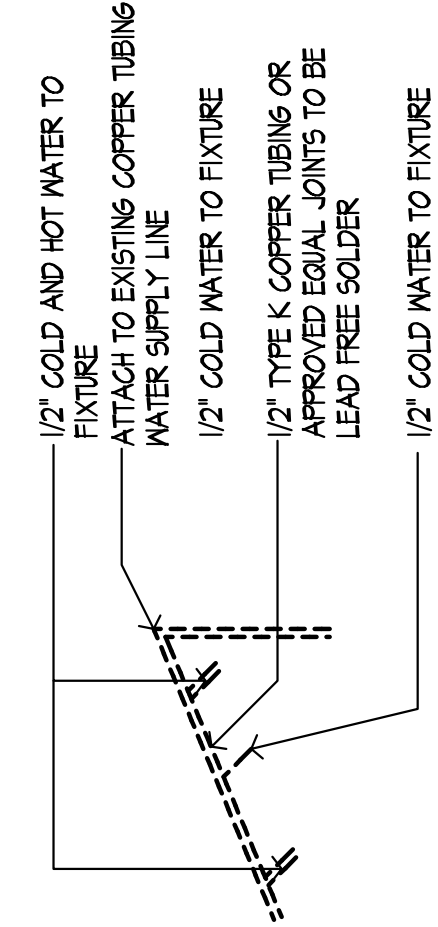
SQUARE FOOTAGE	
(E) BASE FLOOR	1288 sq ft
PROPOSE PATIO ENCLOSURE	82 sq ft
PROPOSE BATHROOM ADDITION	54 sq ft
TOTAL	1424 sq ft

FOR ARCHITECTS USE ONLY - DIMENSIONS TAKEN TO FACE OF STUDS.

EXISTING/DEMO FLOOR PLAN

SCALES: 1/4"=1'-0"



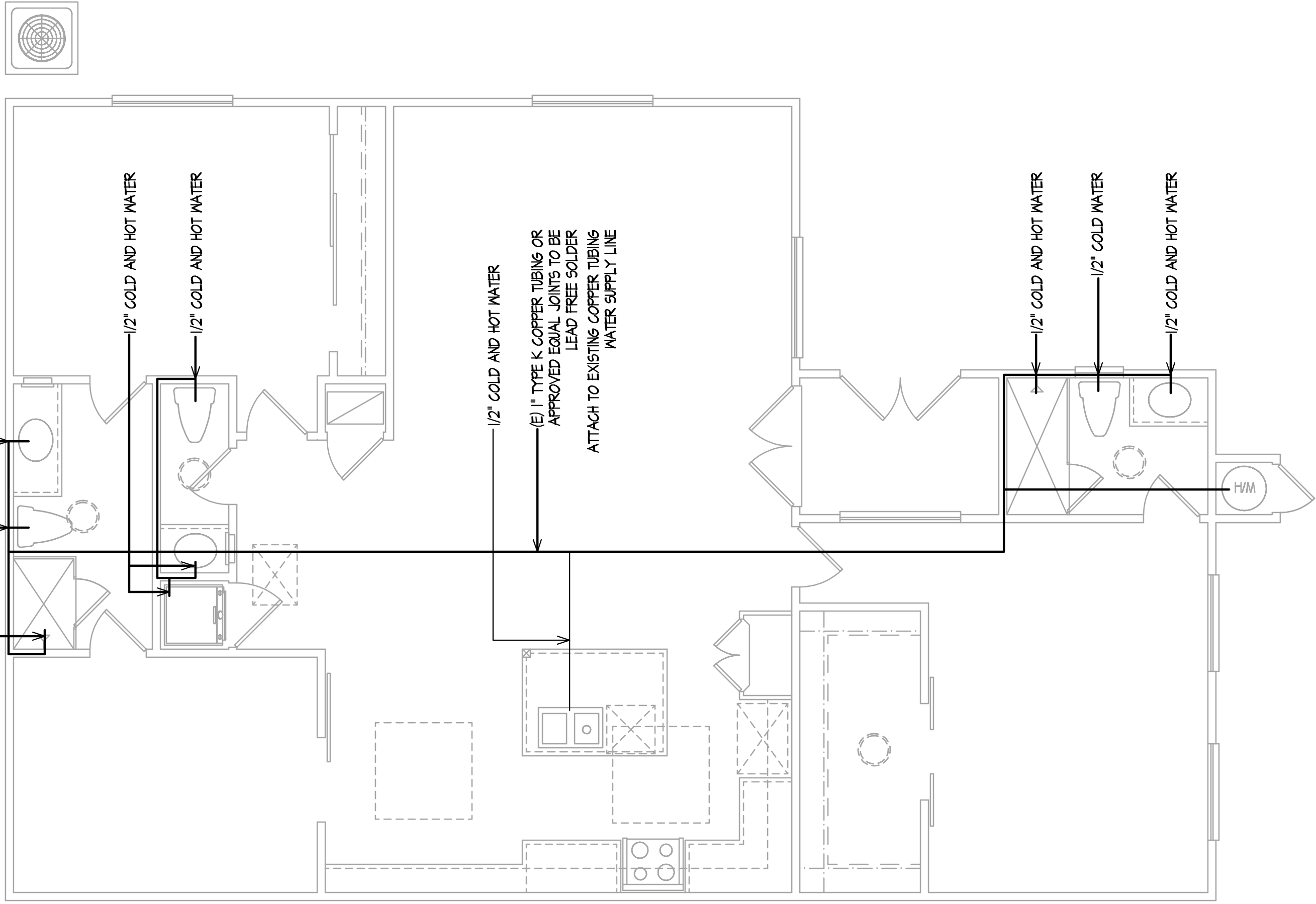


FLOOR PLUMBING ISOMETRIC

WATER

SCALE: 1/4"=1'-0"

1/2" COLD AND HOT WATER
1/2" COLD WATER
1/2" COLD AND HOT WATER

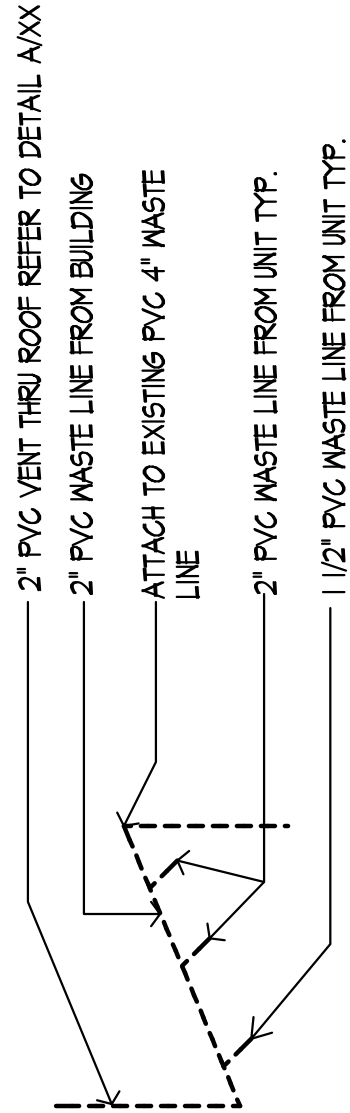


NOTE:
PIPING SHALL BE SEISMICALLY BRACED IN ACCORDANCE W/
SHACNA GUIDELINES FOR SEISMIC RESTRAINT

FLOOR PLUMBING PLAN

WATER SUPPLY

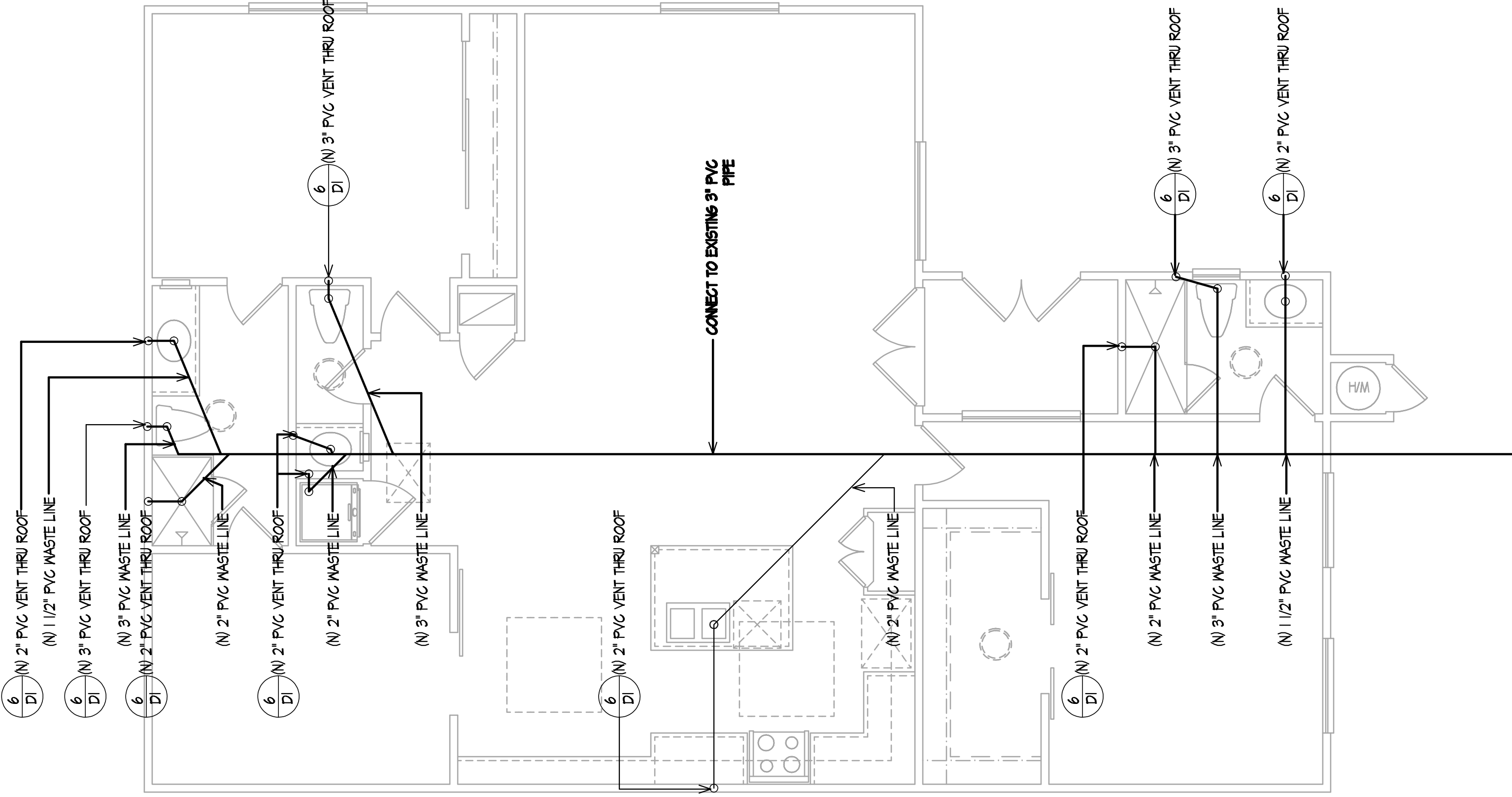
SCALE: 1/4"=1'-0"



FLOOR PLUMBING ISOMETRIC

WASTE AND VENT

SCALE: 1/4"=1'-0"



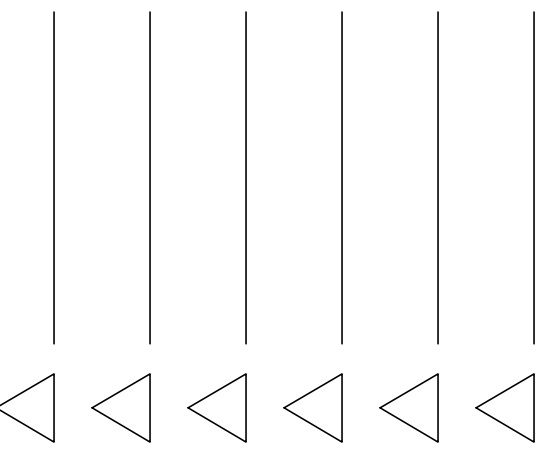
NOTE:
PROVIDE WALL CLEANOUTS AT SINK IN ACCORDANCE W/ APPLICABLE
SECTIONS OF UPC PIPING SHALL BE SEISMICALLY BRACED IN
ACCORDANCE W/ SHACNA GUIDELINES FOR SEISMIC RESTRAINT

FLOOR PLUMBING PLAN

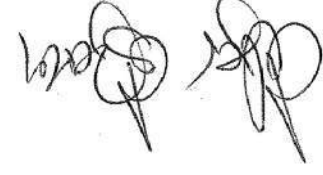
WASTE AND VENT

SCALE: 1/4"=1'-0"

design
EDGAR ESPARZA
15882 SULLYHUR SPRING RD
MORENO VALLEY, CA 92555
CELL: 562.965.4771

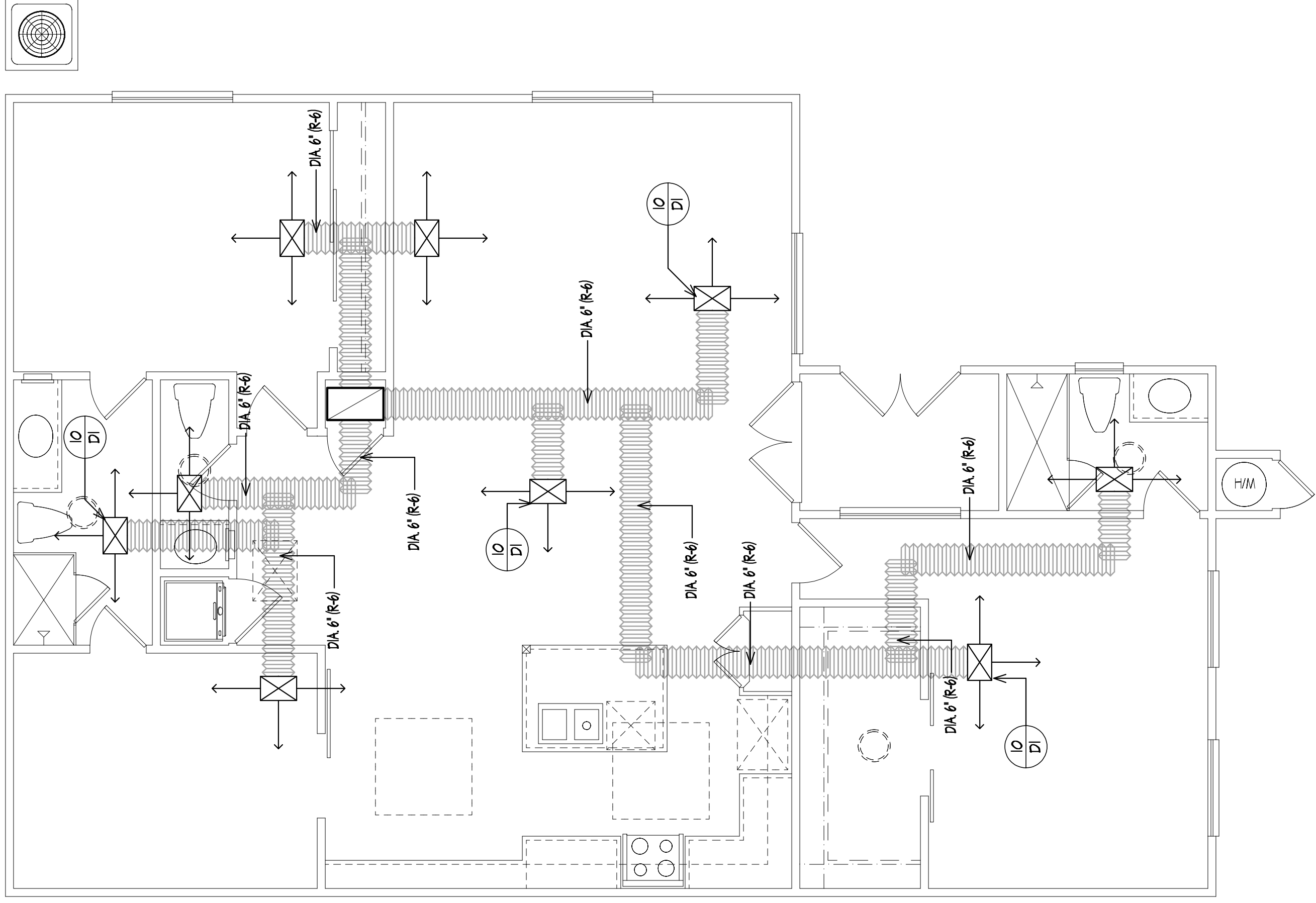


PLOT DATE: 12/8/2023

SIGNATURE: 
EDGAR ESPARZA
PHONE: 562.965.4771

216-D AVENIDA MAJORCA
LAGUNA WOODS, CA 92637

NOTE: DAYTON RECTANGULAR FIRE
DAMPER 5-3/4X11-3/4" MODEL 2T6D3
1.5 FIRE RATED OR APPROVED EQUAL
TYPICAL TO ALL REGISTERS.



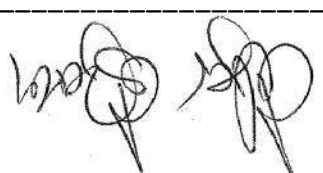
MECHANICAL DRAWING

SCALE: 1/4"=1'-0"

design

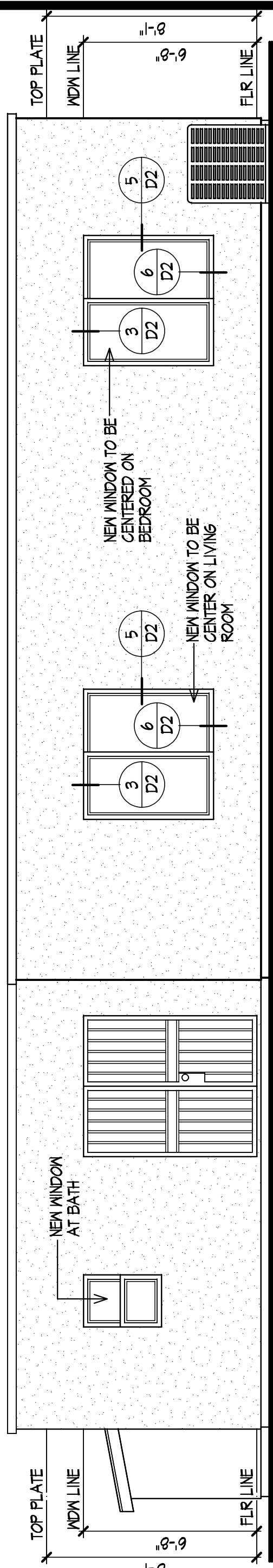
PLOT DATE: 11/30/2023

SIGNATURE: _____
EDGAR ESPARZA
PHONE: 562.965.4711



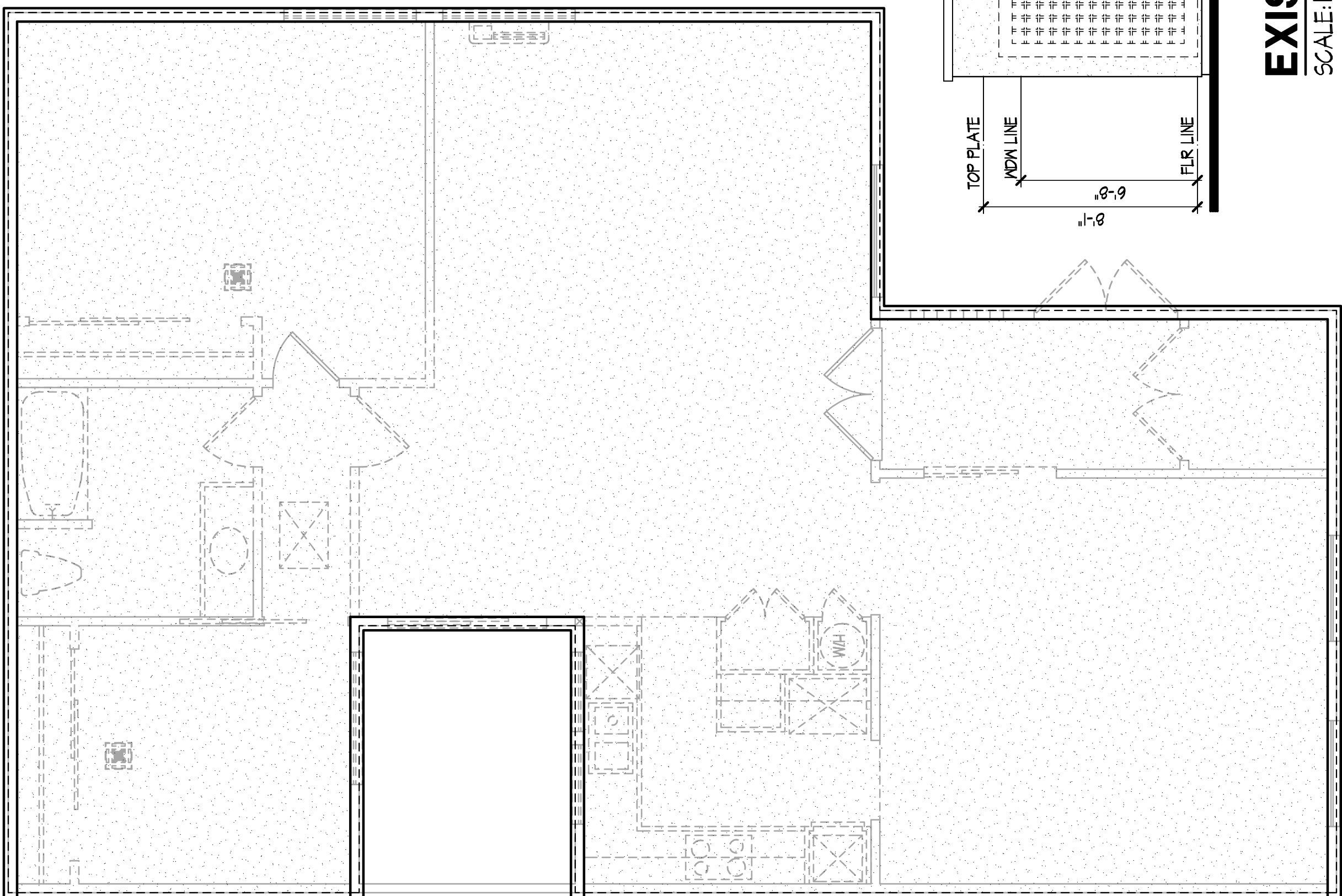
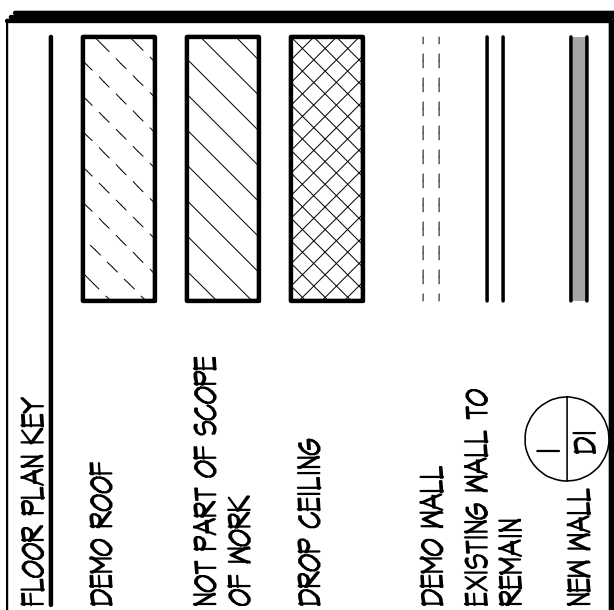
EXISTING/DEMO ELEVATION

SCALE: 1/4" = 1'-0"



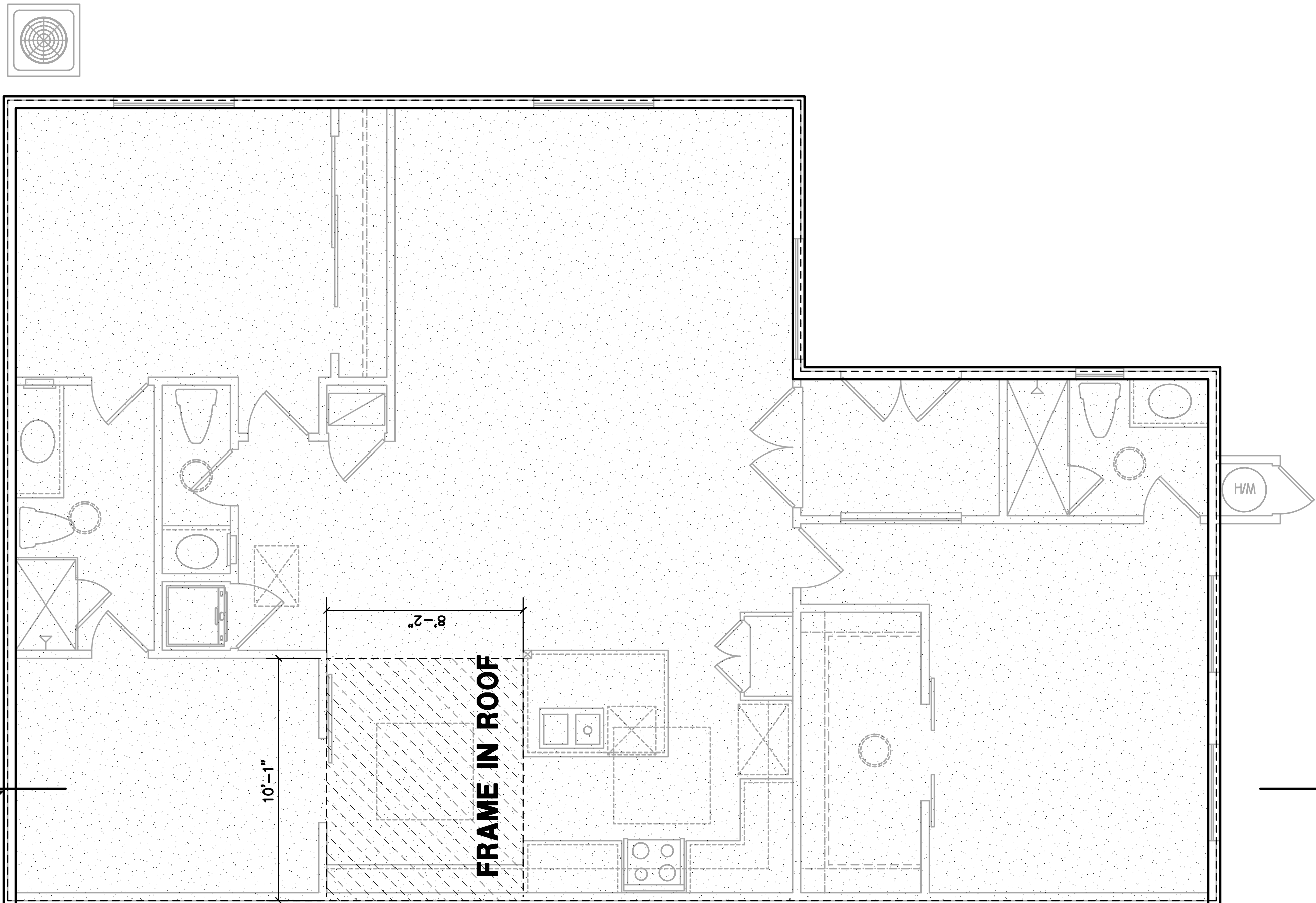
PROPOSE ELEVATION

SCALE: 1/4" = 1'-0"



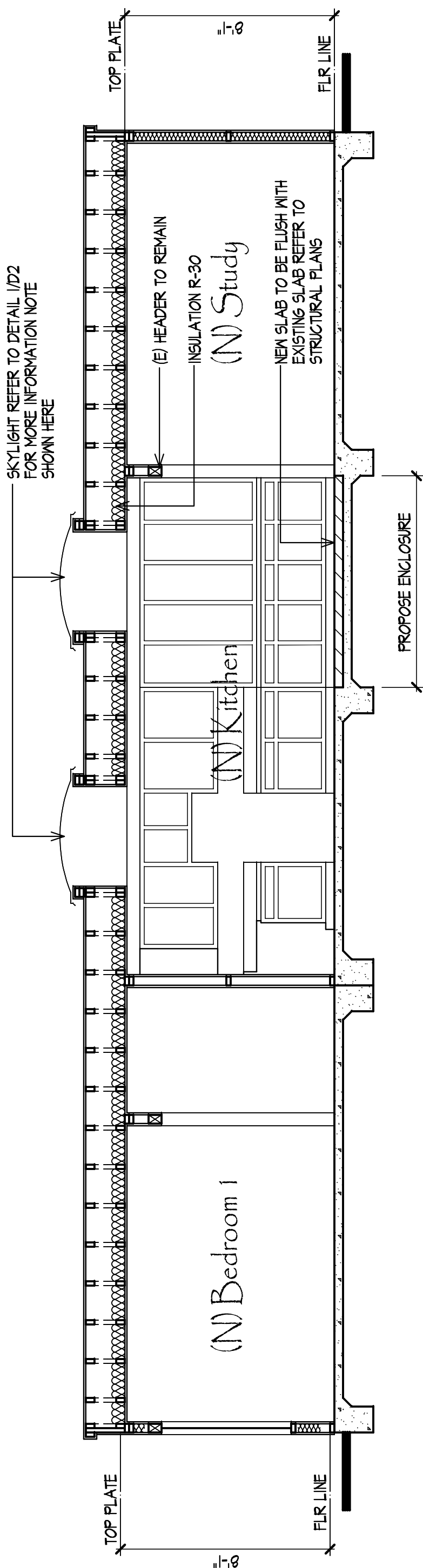
EXISTING/DEMO ROOF PLAN

SCALE: 1/4" = 1'-0"



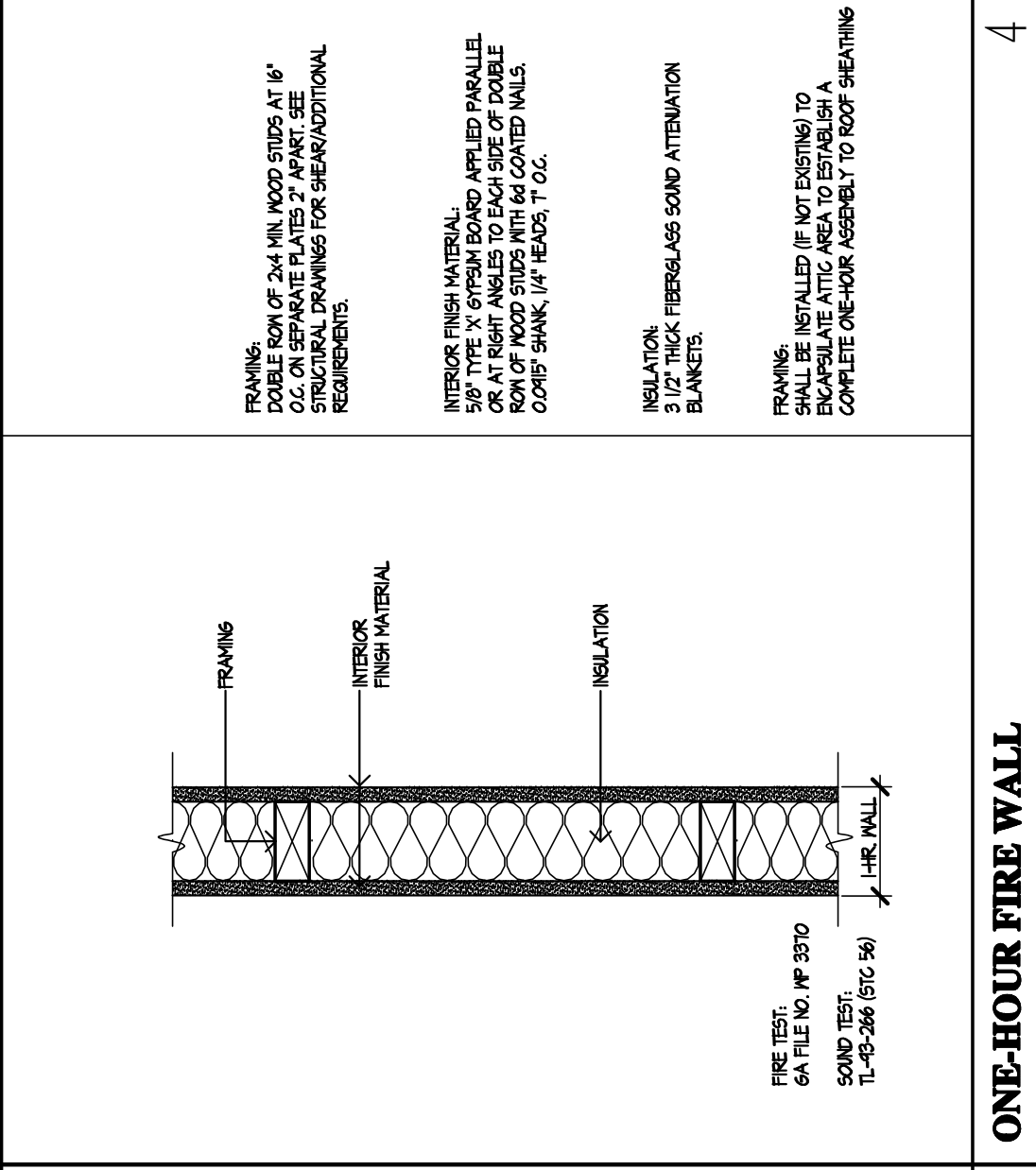
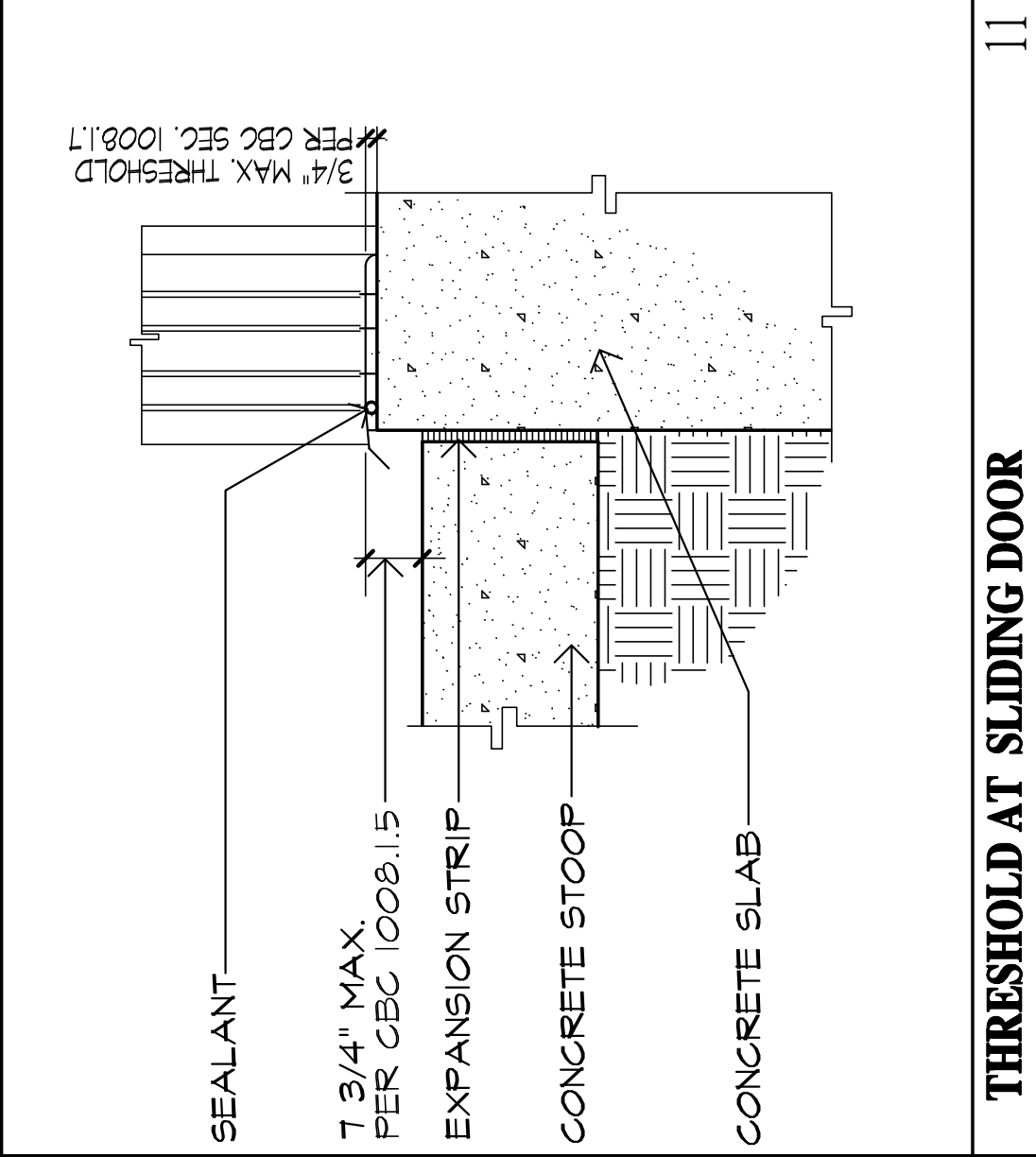
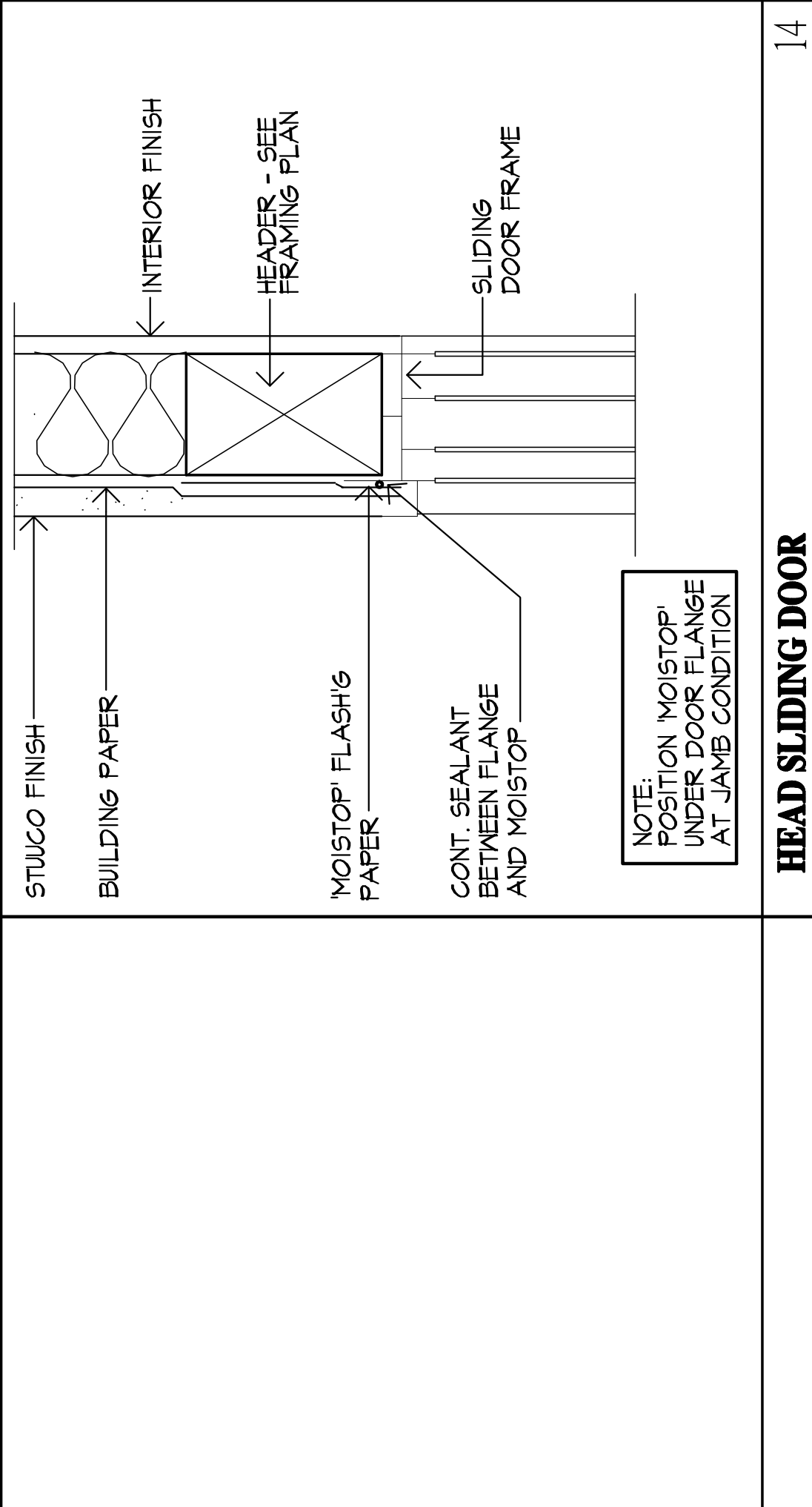
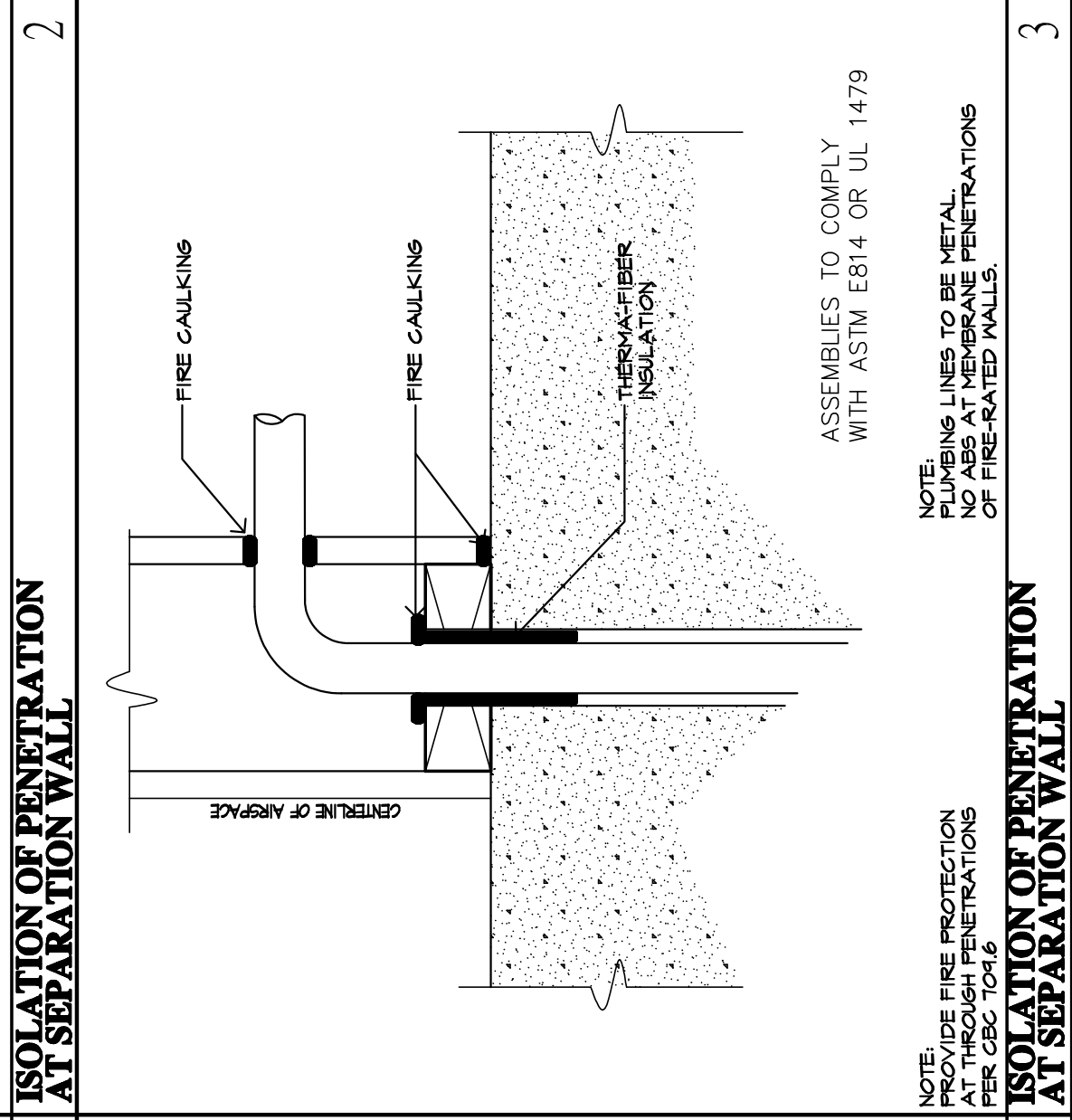
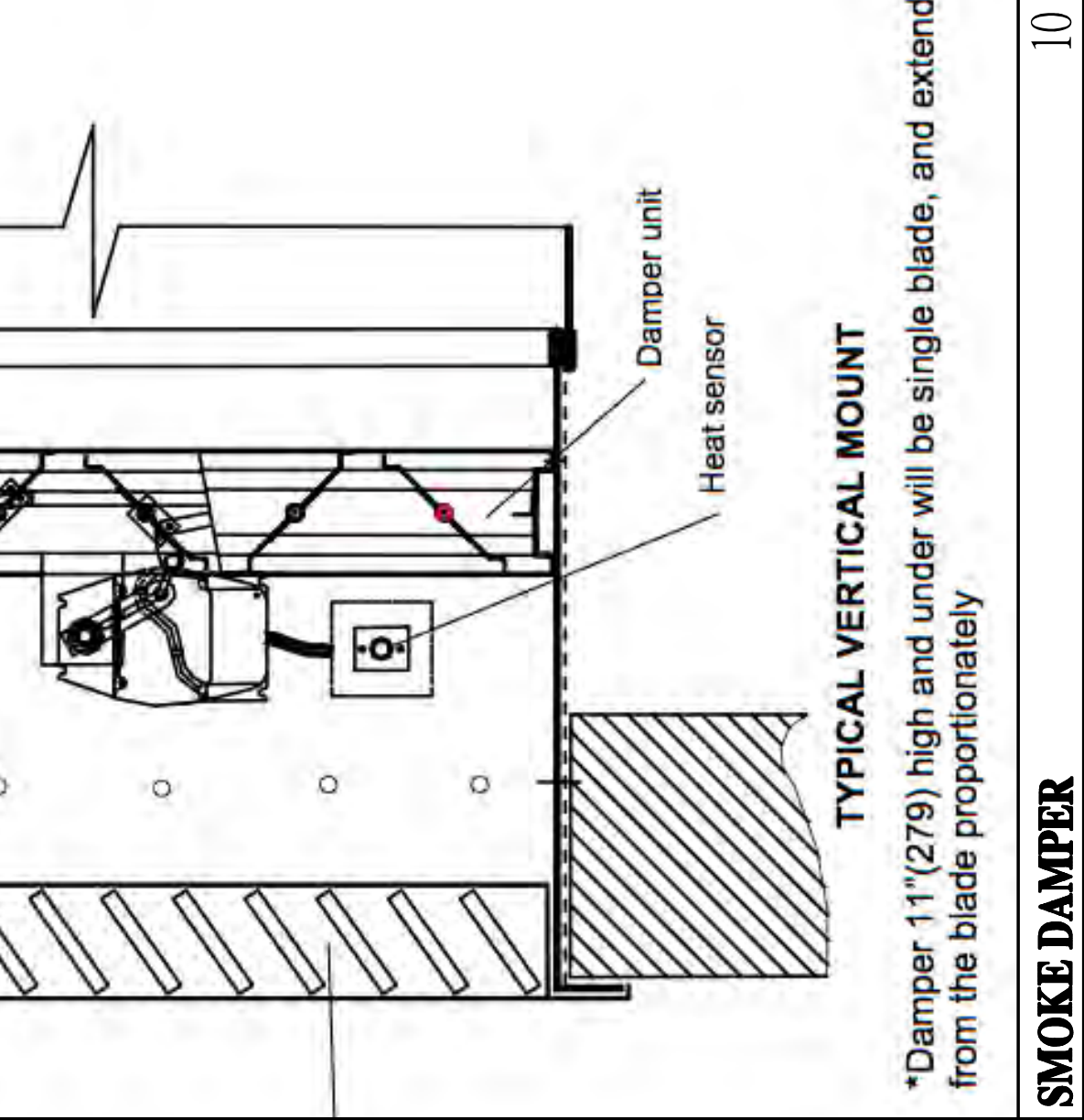
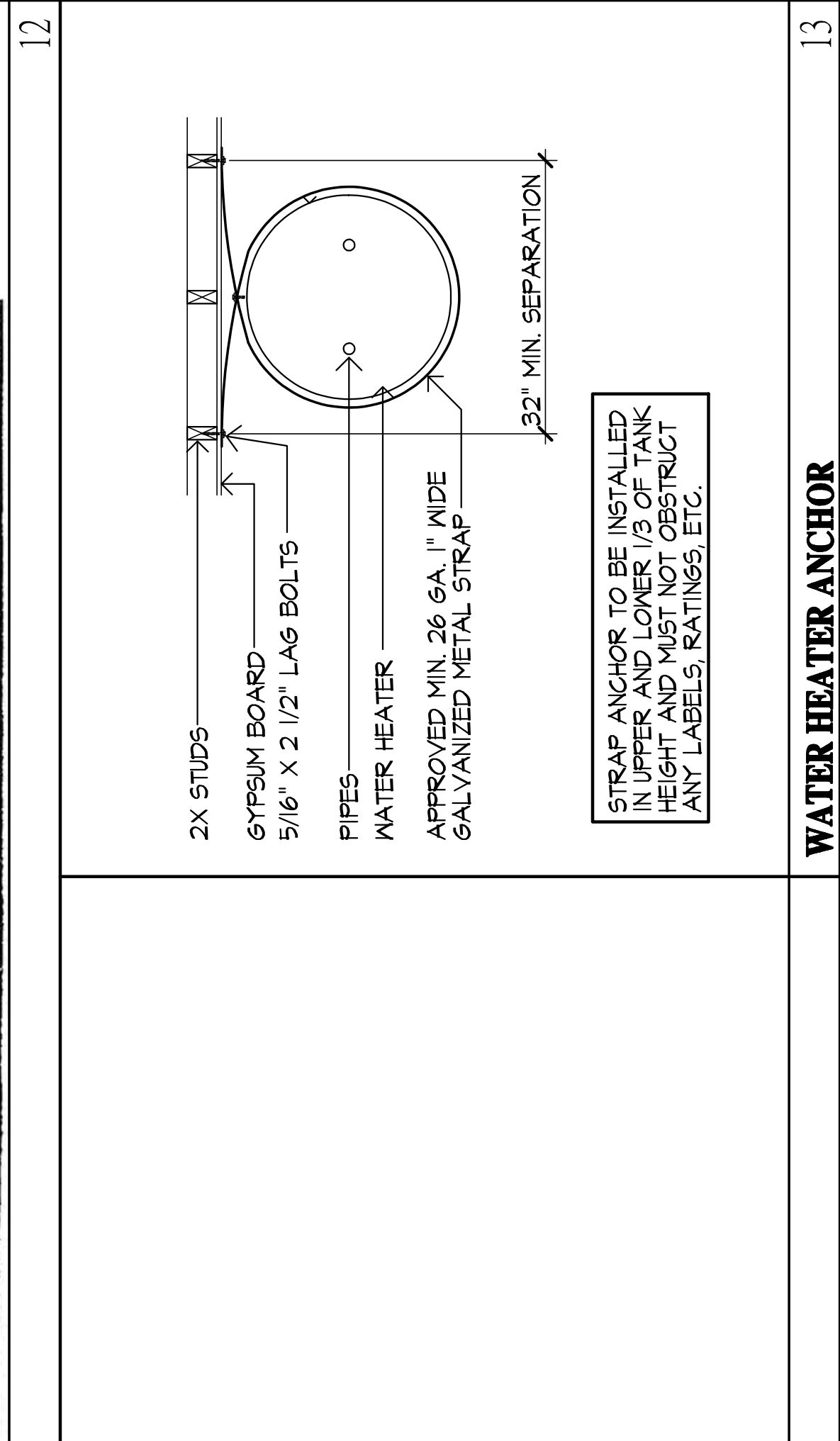
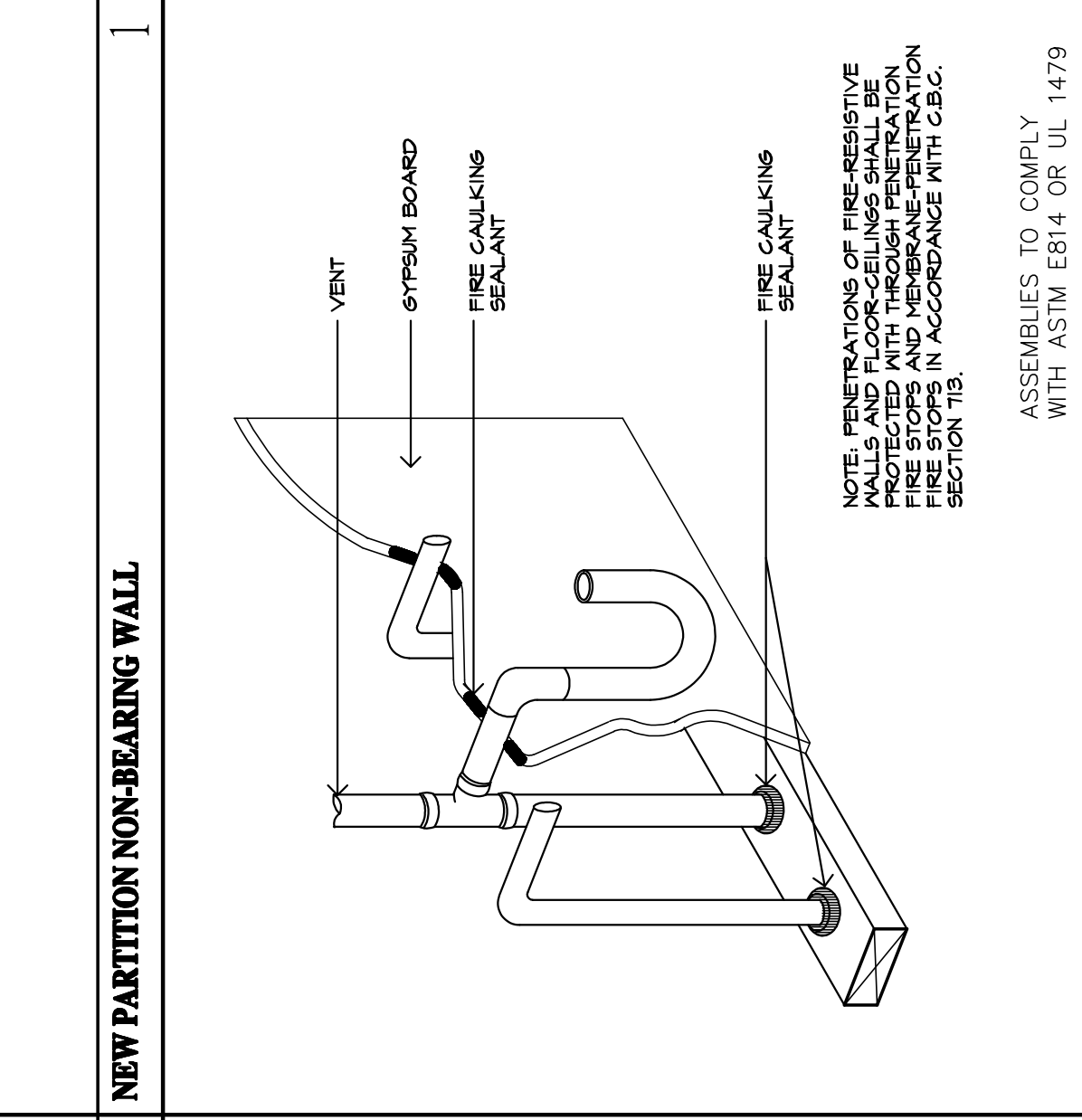
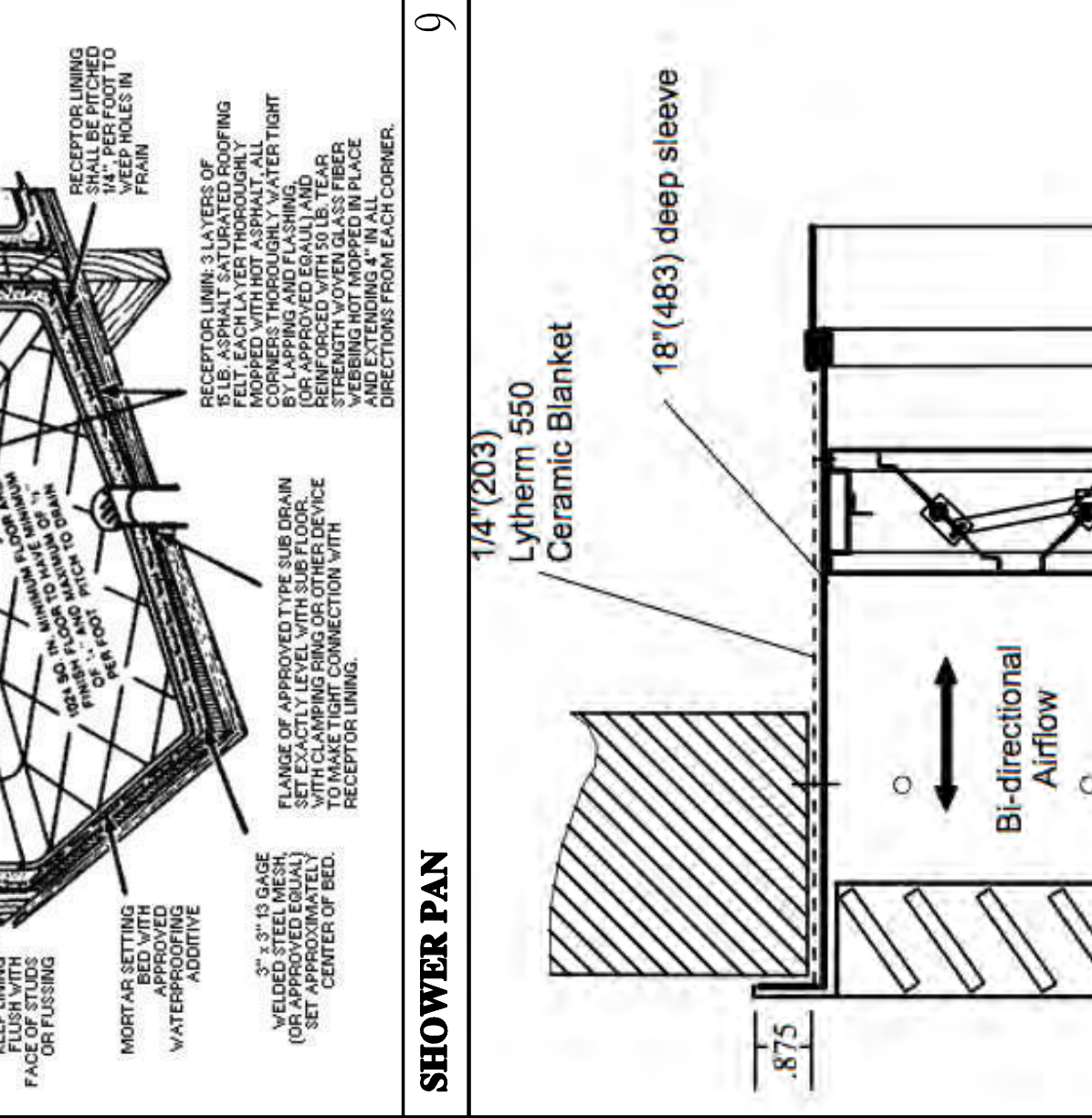
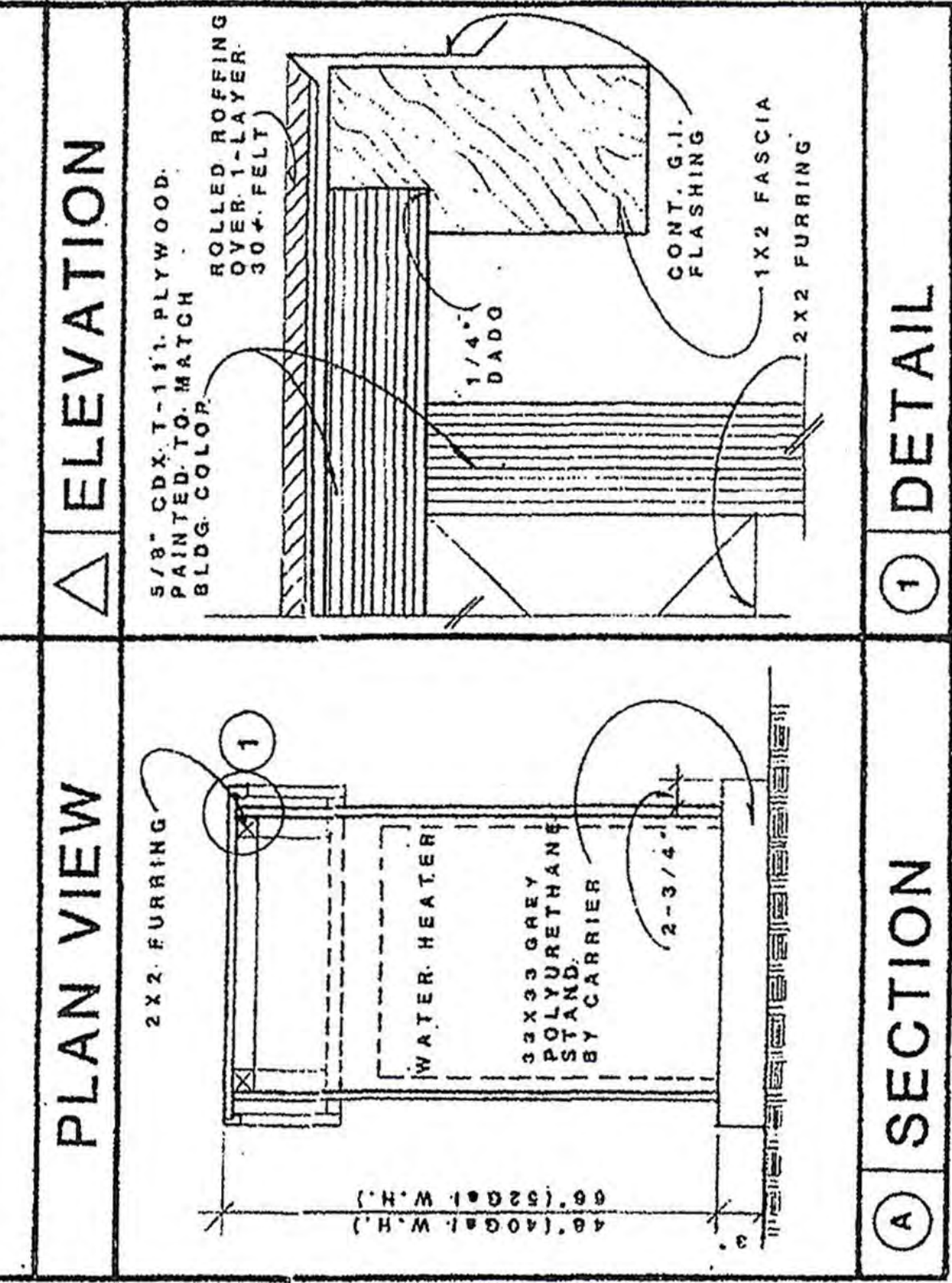
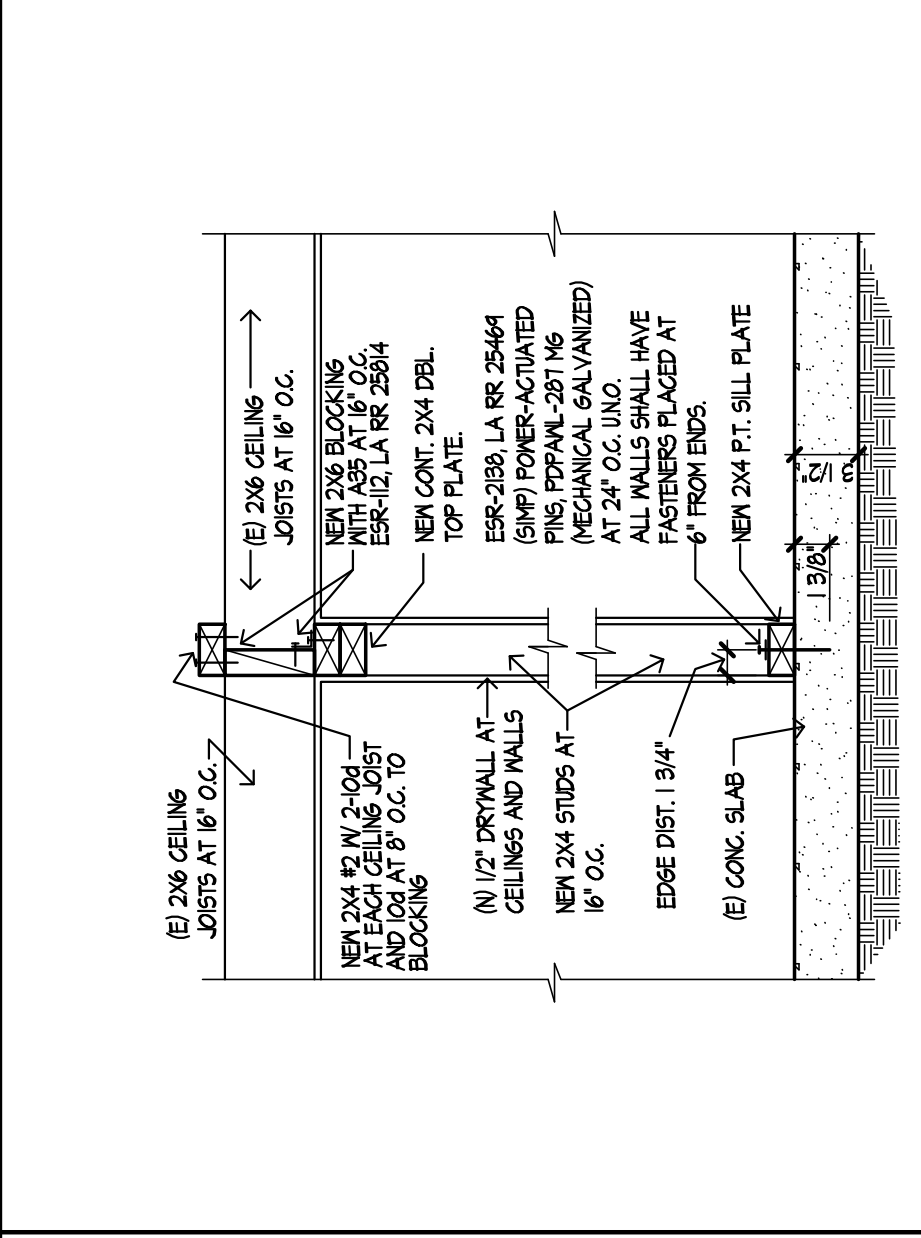
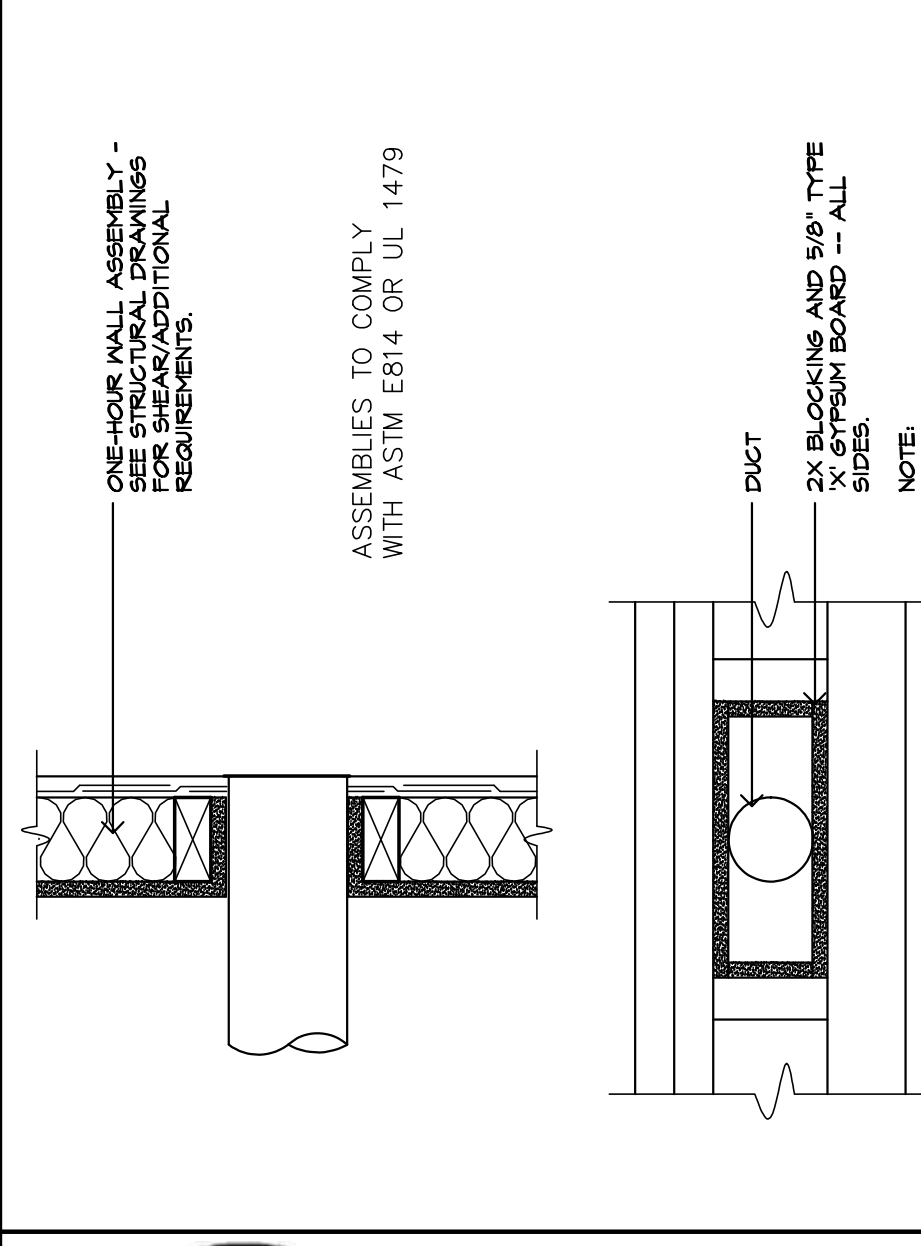
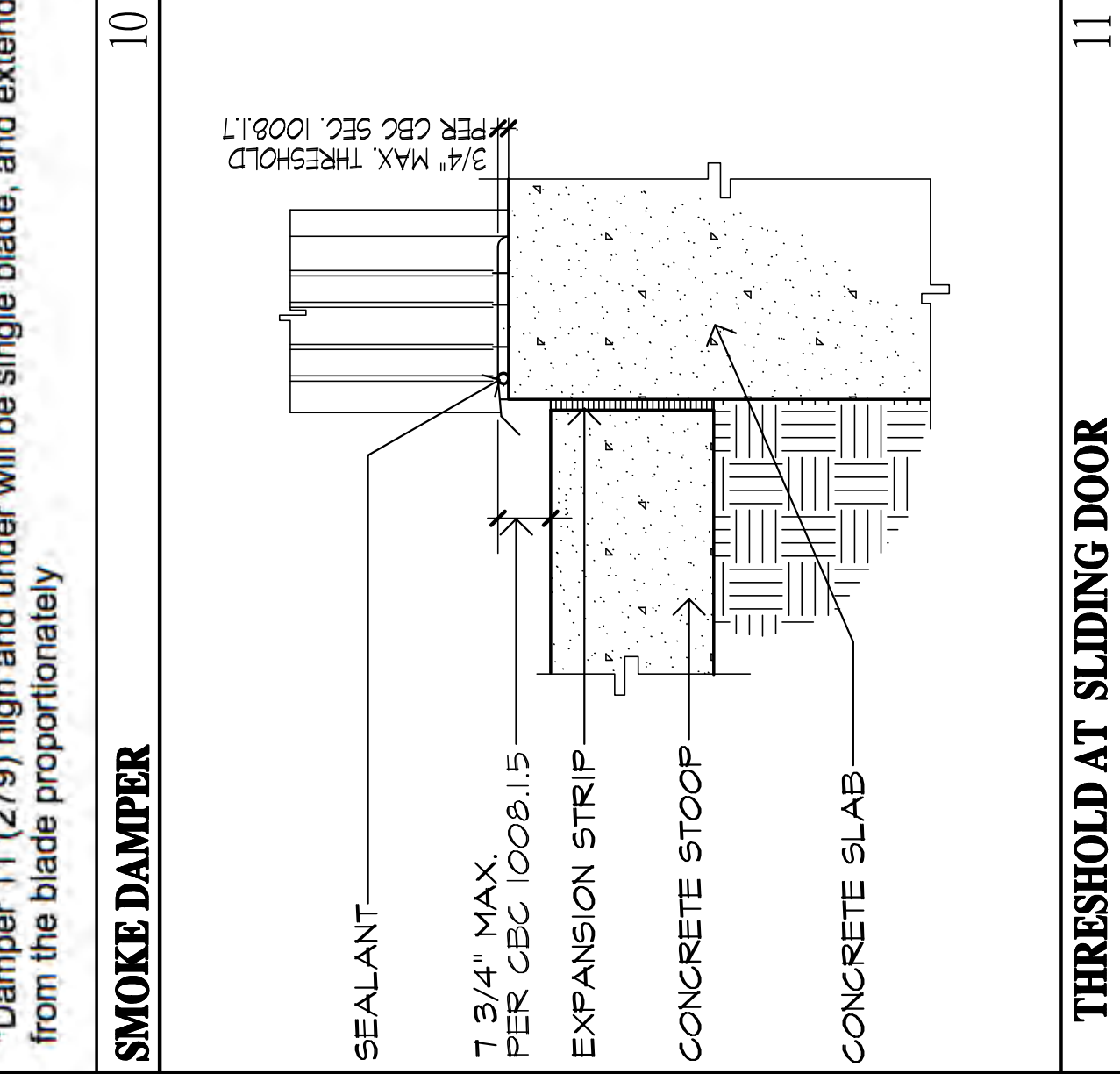
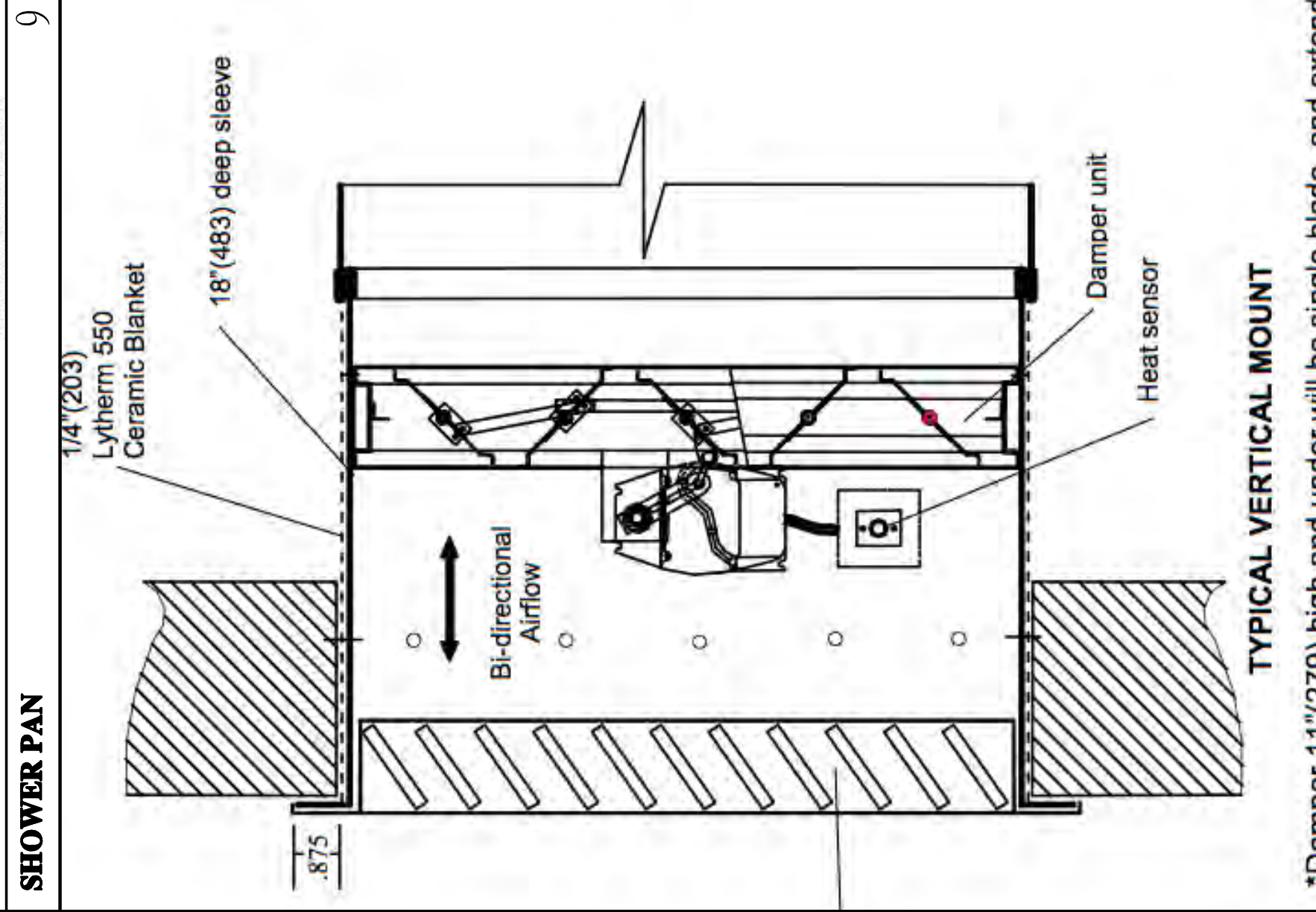
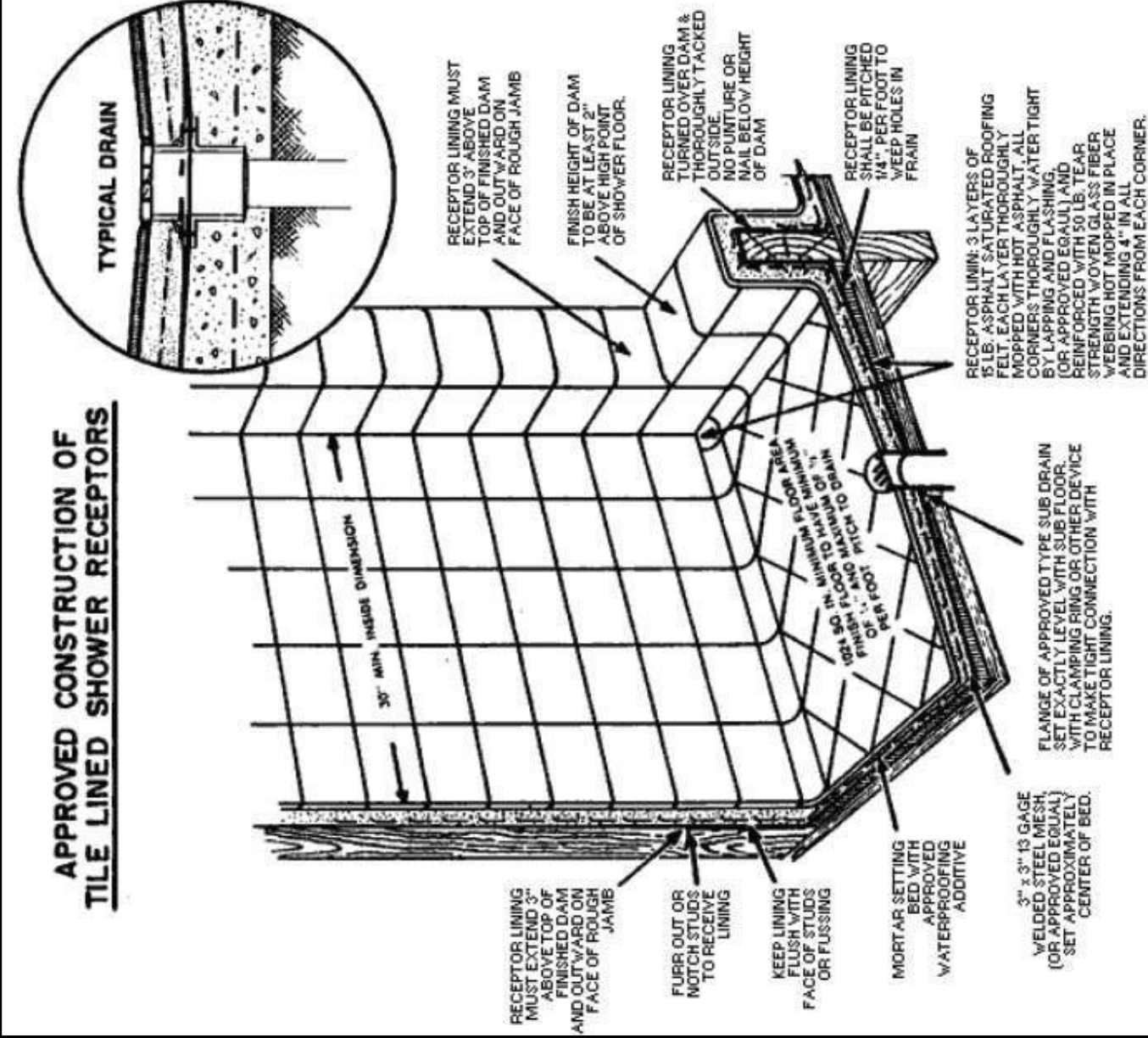
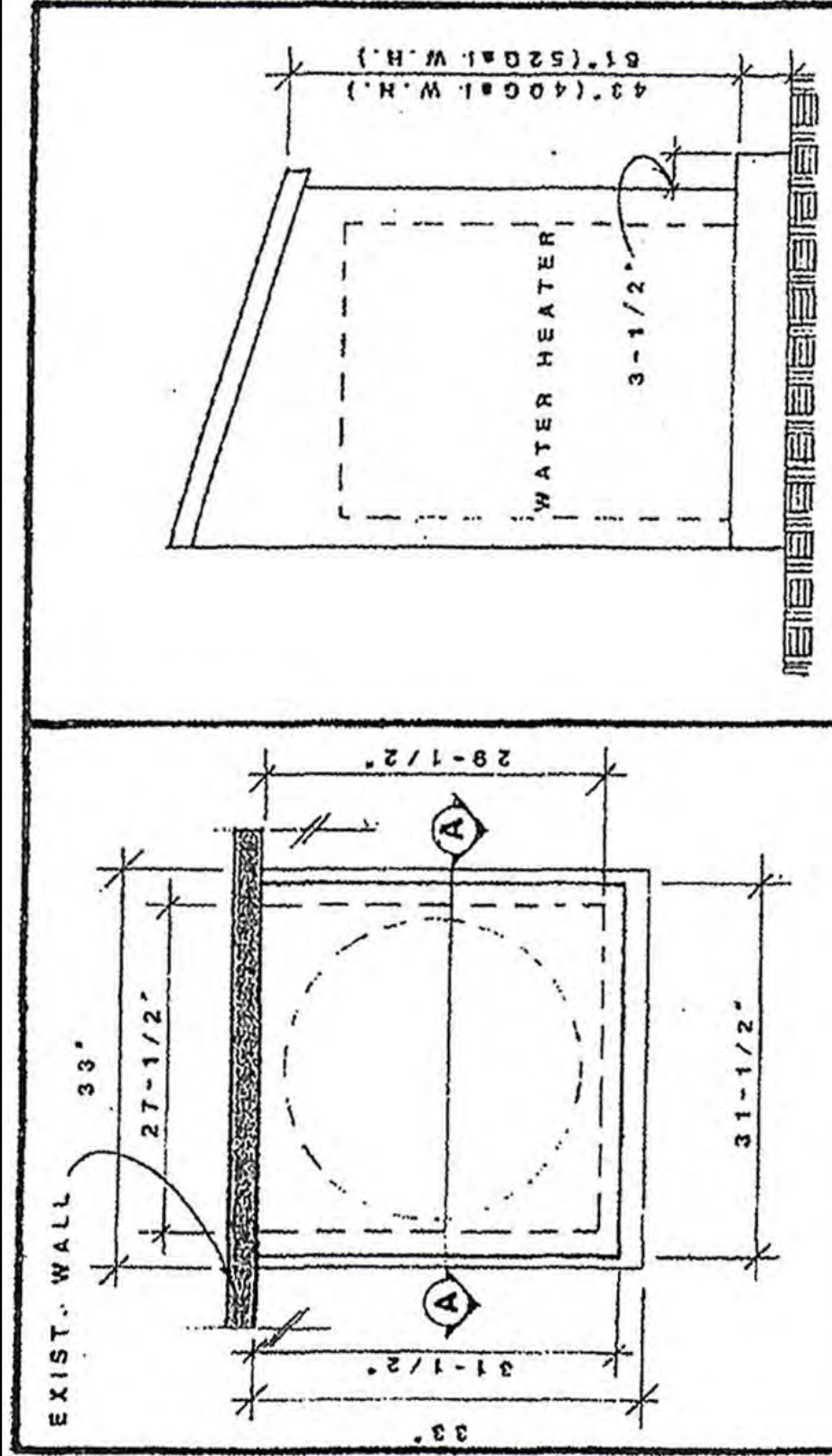
PROPOSE ROOF PLAN

SCALE: 1/4" = 1'-0"



SECTION 'A'

SCALE: 1/4" = 1'-0"

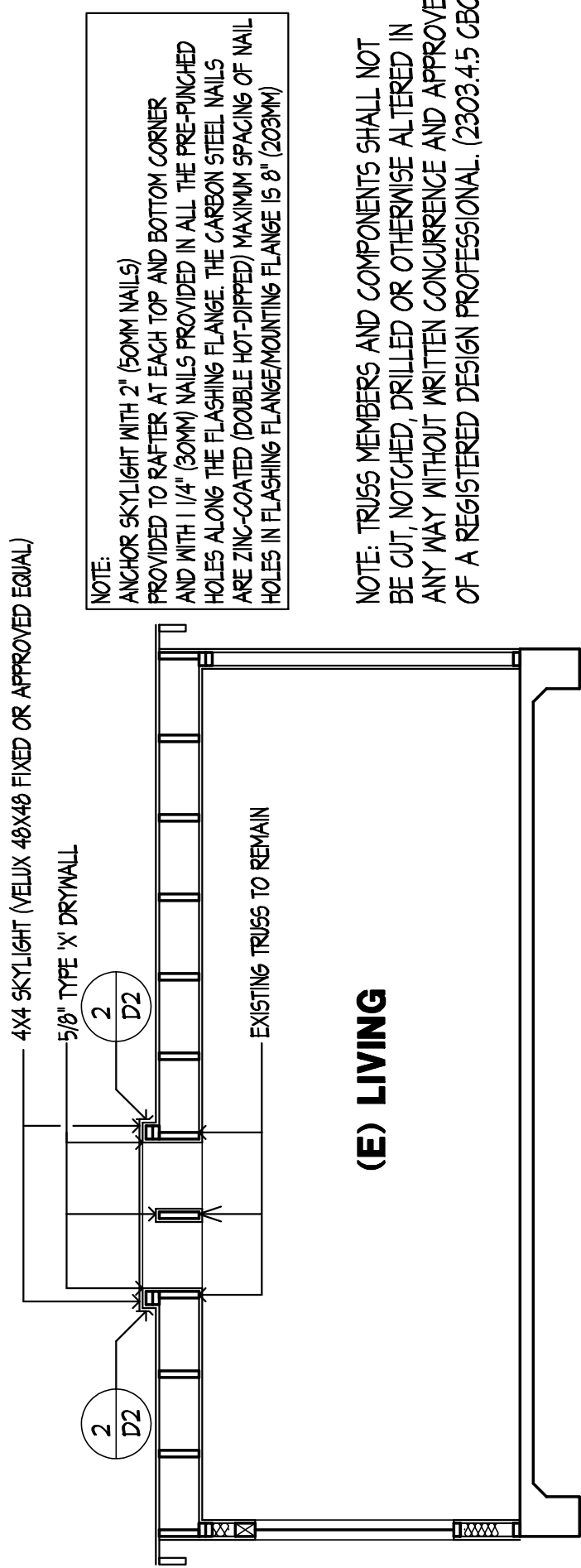


216-D AVENIDA MAJORCA
LAGUNA WOODS, CA 92637

SIGNATURE: _____
EDGAR ESPARZA
PHONE: 562.965.4711

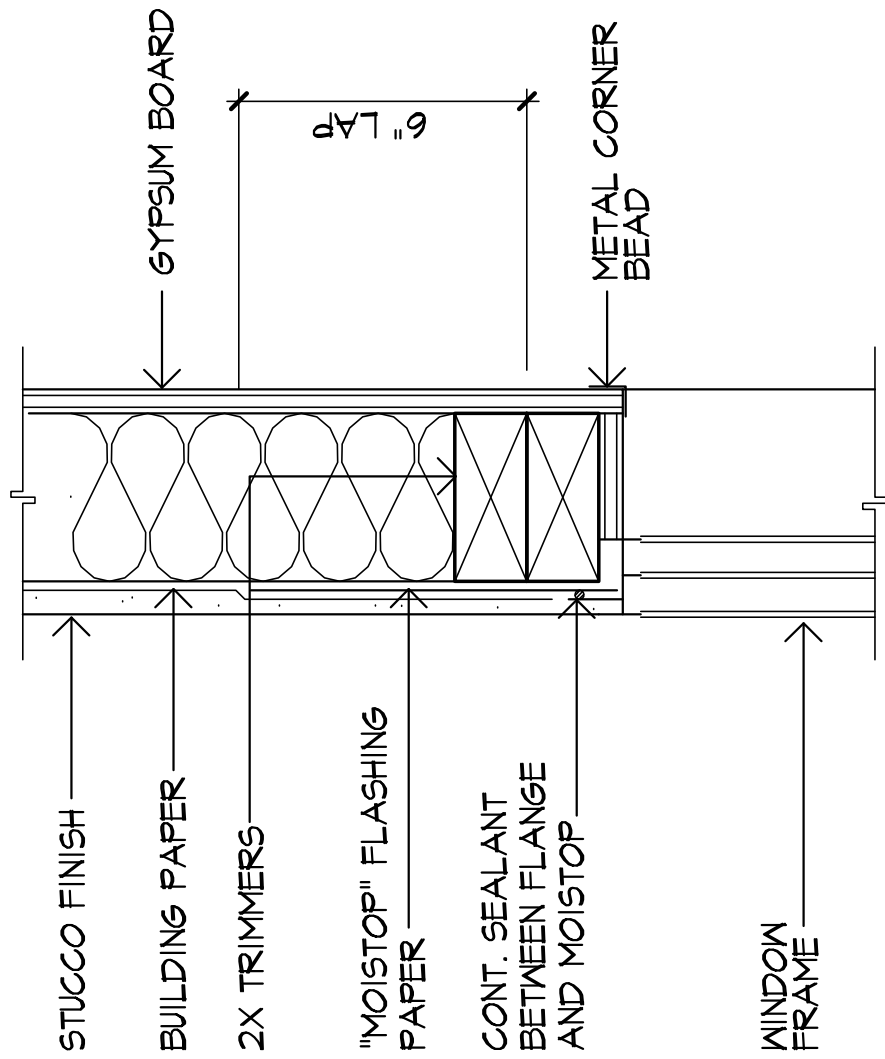
PLOT DATE: 11/30/2023

EDGAR ESPARZA
15882 SULPHUR SPRING RD
MORENO VALLEY, CA 92555
CELL: 562.965.4771

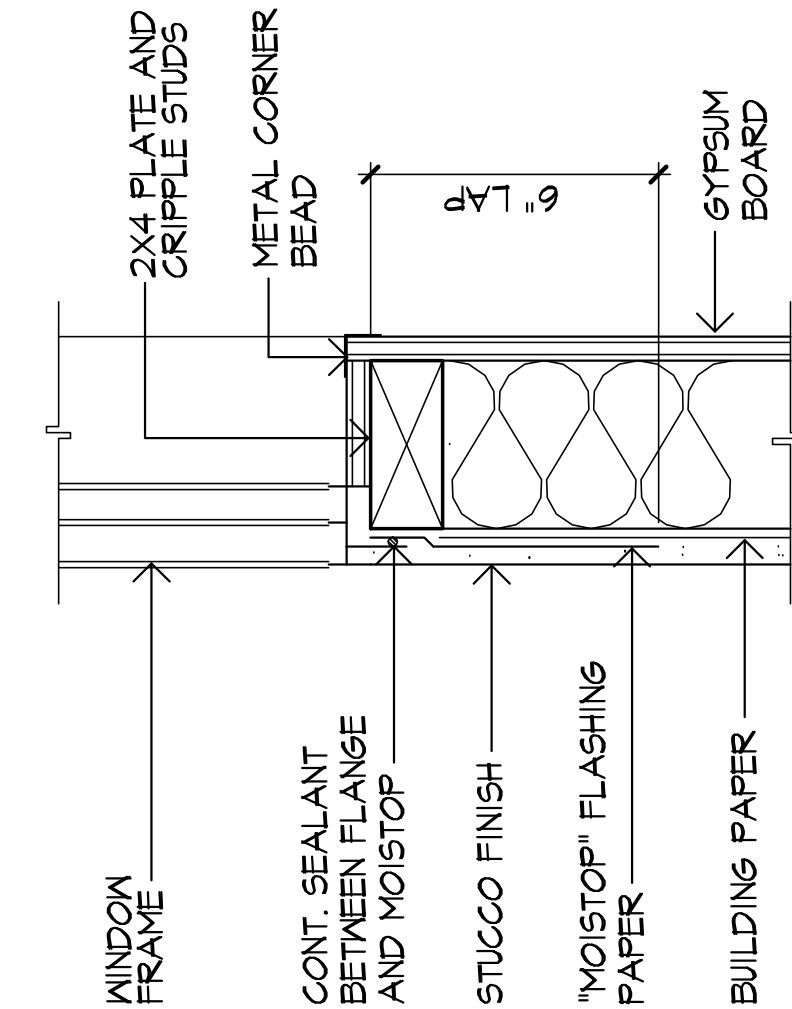


NOTE: TRUSS MEMBERS AND COMPONENTS SHALL NOT BE CUT, NOTCHED, DRILLED OR OTHERWISE ALTERED IN ANY WAY WITHOUT WRITTEN CONCURRENCE AND APPROVAL OF A REGISTERED DESIGN PROFESSIONAL. (2303.4.5 CBC)

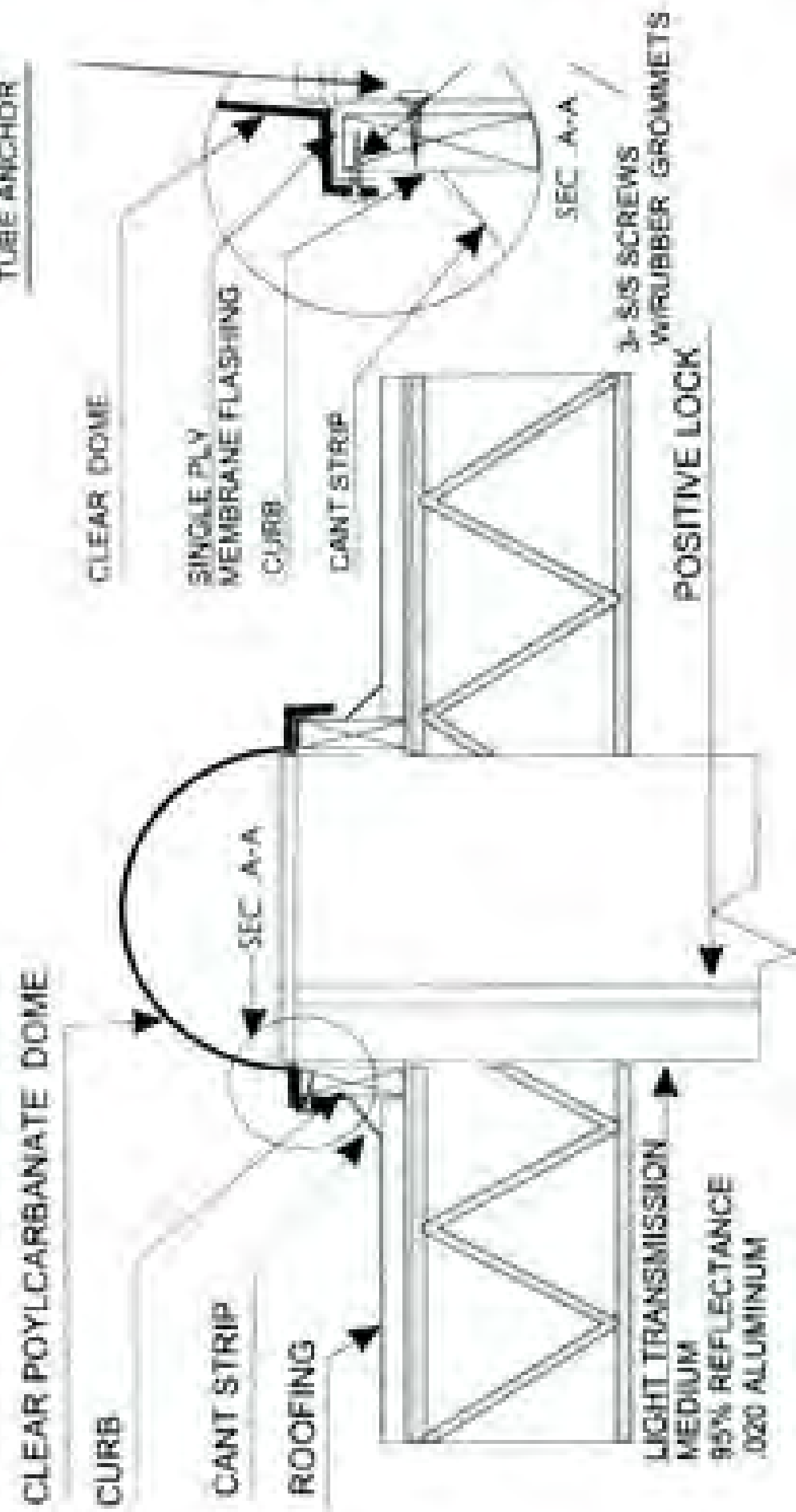
TYPICAL SKYLIGHT LAYOUT



WINDOW JAMB

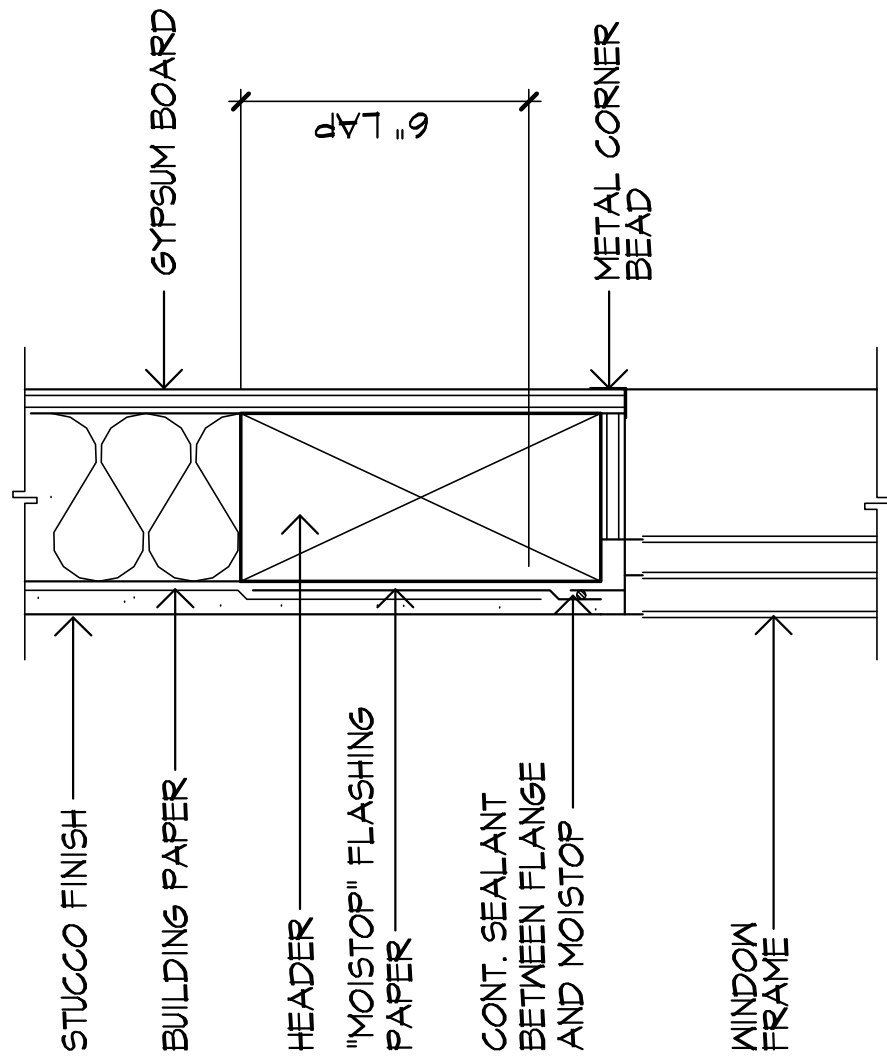


SILL DETAIL



SOLAR TUBE

FLASHING AT SKYLIGHT



WINDOW HEAD

4

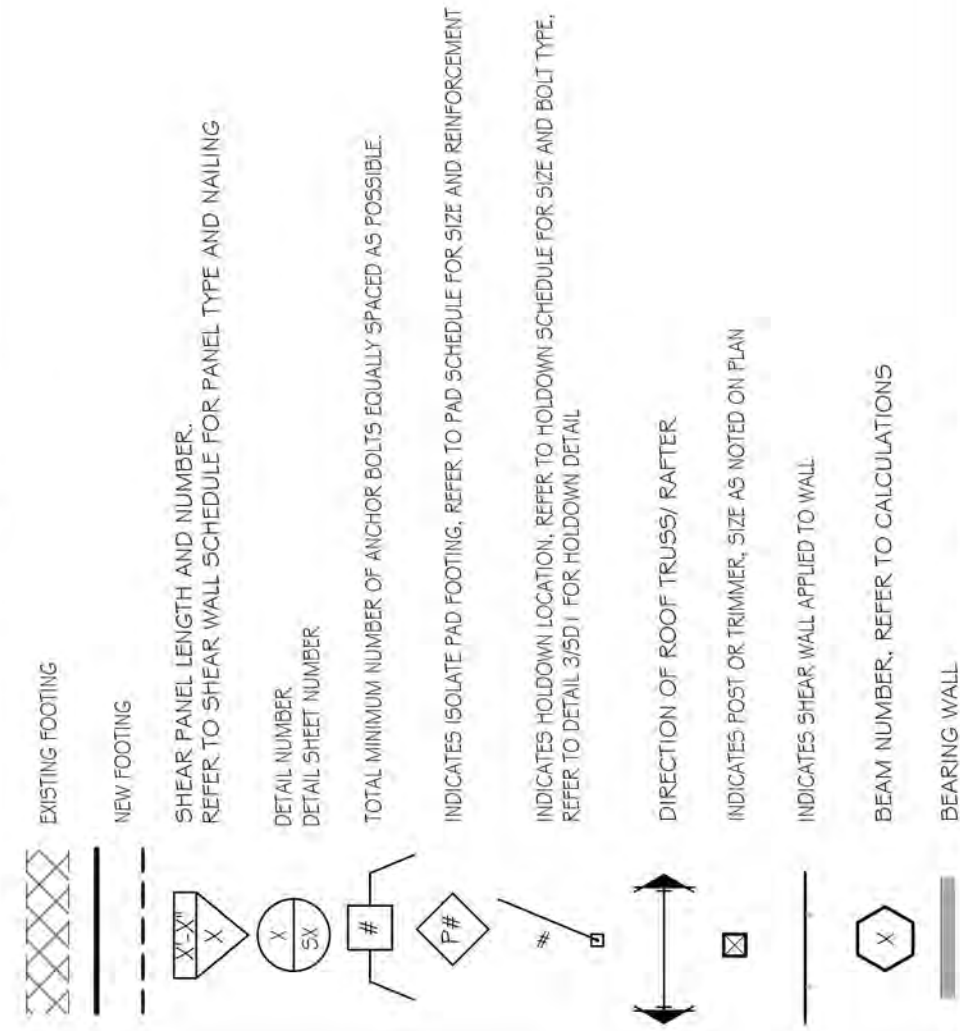
- GENERAL REQUIREMENTS**
1. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO VERIFY ALL DIMENSIONS, CONDITIONS AT THE JOB SITE, AND TO CROSS CHECK ALL DETAILS AND DIMENSIONS SHOWN ON THE STRUCTURAL DRAWINGS WITH RELATED REQUIREMENTS ON THE ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND/OR CIVIL DRAWINGS AND NOTIFY THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
2. IN ALL CASES WHERE A CONFLICT MAY OCCUR SUCH AS BETWEEN ITEMS INCLUDED IN THE SPECIFICATIONS AND NOTES ON THE DRAWINGS OR BETWEEN GENERAL NOTES AND SPECIFIC DETAILS, THE ENGINEER SHALL BE NOTIFIED AND HE WILL INTERPRET THE INTENT OF THE CONTRACT DOCUMENT.
3. EXCEPT WHERE MORE STRINGENT REQUIREMENTS ARE NOTED OR SHOWN IN THE PLANS OR TO THE REQUIREMENTS, ALL PHASES OF WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CALIFORNIA BUILDING CODE, LATEST EDITION, AS WELL AS ALL APPLICABLE STATE AND LOCAL ORDINANCES.
4. IN NO CASE SHALL WORKING DIMENSIONS BE SCALED FROM PLANS, SECTIONS, OR DETAILS ON THE STRUCTURAL DRAWINGS.
5. THE SLAB-ON-GRADE IS CONSIDERED A NON-STRUCTURAL COMPONENT AND IS THEREFORE NOT DESIGNED BY THE ENGINEER.
6. THE USE OF THESE PLANS, DRAWINGS, SPECIFICATIONS, AND/OR ELEVATIONS IS RESTRICTED TO THE ORIGINAL USE FOR WHICH THEY WERE PREPARED AND FINISHED TO THE CLIENT. PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR OTHER PUBLICATION BY ANY METHOD IS PROHIBITED.
7. THE MEANS AND METHODS OF CONSTRUCTION, INCLUDING THE DESIGN, ADJACENCY AND SAFETY OF BRACING, SHORING, GUYING, AND ERECTION AS WELL AS THE SEQUENCE OF CONSTRUCTION HAVE NOT BEEN CONSIDERED BY THE EOR. THE ENGINEER AND HIS REPRESENTATIVES WILL NOT COVER SUCH ITEMS IN THE COURSE OF THE STRUCTURAL OBSERVATIONS.
8. DETAIL MARKED "TYPICAL" SHALL APPLY IN ALL CASES UNLESS SPECIFICALLY INDICATED OTHERWISE.
9. FOR ANY PRE-Manufactured PRODUCTS OR MATERIALS OF CONSTRUCTION, CONTRACTOR OR SHALL BE RESPONSIBLE FOR BEING FAMILIAR WITH AND FOR PROPER EXECUTION OF MANUFACTURERS INSTRUCTIONS. REQUIREMENTS AND CONDITIONS OF APPROVAL PRIOR TO INSTALLATION AND/OR USE.
10. WOOD FRAMING MEMBERS INCLUDING WOOD SHEATHING LESS THAN 8 INCHES FROM EXPOSED EARTH SHALL BE NATURALLY DURABLE OR PRESERVATIVE-TREATED WOOD.
11. BECAUSE OF LOCATION SOME STRUCTURAL COMPONENTS ARE REQUIRED BY CODE TO BE PROTECTED FROM WATER/MOISTURE PENETRATION OR FROM FIRE DAMAGE. THE RESPONSIBILITY OF THE EOR AND NOT DETAILING REFER TO OTHERS FOR WATER / MOISTURE PROOFING METHODS AND FIRE PROOFING DETAILS.
12. CONTRACTOR TO ENSURE THAT ALL DAMAGE IS DIRECTED AWAY FROM THE EXTERIOR FOOTINGS (MIN. 24" SLOPE), ALL SOILGAUGING RECOMMENDATIONS BY OTHERS.
13. THE EFFECTS OF FLOOD HAZARDS AND FLOOD LOADS HAVE NOT BEEN CONSIDERED BY THE EOR IN THE EXISTING DESIGN.
14. VIBRATION ANALYSIS HAS NOT BEEN CONSIDERED BY EOR.
15. GENERAL CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE, WORKMAN AND OTHER PERSONS DURING CONSTRUCTION, SUCH MEASURES SHALL INCLUDE, BUT NOT TO BE LIMITED TO, BRACING, SHORING FOR CONSTRUCTION EQUIPMENT AND SHORING FOR THE STRUCTURE.

- FRAMING**
1. ALL LUMBER USED FOR STRUCTURAL PURPOSES SHALL BE DOUGLAS FIR/LARCH. ALL LUMBER SHALL BE LESS THAN 19% MOISTURE CONTENT FOR ALL CONSTRUCTION. CONTRACTOR SHALL MANAGE MOISTURE CONTENT TO ENSURE COMPATIBILITY. (EXCEPTION: ROOF TRUSSES MAY BE HEM-FIR OR SPRUCE PINE FIR)
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CONSTRUCTION NOTES

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2. AT THE JOB SITE, AND TO CROSS CHECK ALL DETAILS AND DIMENSIONS SHOWN ON THE STRUCTURAL DRAWINGS WITH RELATED REQUIREMENTS ON THE ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND/OR CIVIL DRAWINGS AND NOTIFY THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK.
3. IN ALL CASES WHERE A CONFLICT MAY OCCUR SUCH AS BETWEEN ITEMS INCLUDED IN THE SPECIFICATIONS AND NOTES ON THE DRAWINGS OR BETWEEN GENERAL NOTES AND SPECIFIC DETAILS, THE ENGINEER SHALL BE NOTIFIED AND HE WILL INTERPRET THE INTENT OF THE CONTRACT DOCUMENT.
4. DETAIL MARKED "TYPICAL" SHALL APPLY IN ALL CASES UNLESS SPECIFICALLY INDICATED OTHERWISE.
5. FOR ANY PRE-FABRICATED PRODUCTS OR MATERIALS OF CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR BRING FAMILIAR WITH THE PROPER EXECUTION OF MANUFACTURERS INSTRUCTIONS, REQUIREMENTS AND CONDITIONS OF APPROVAL PRIOR TO INSTALLATION AND/OR USE.
6. WOOD FRAMING MEMBERS (INCLUDING WOOD SHEATHING) LESS THAN 8 INCHES FROM EXPOSED EARTH SHALL BE TREATED WITH PRESERVATIVE-TREATED WOOD.
7. FOOTINGS TO INSURE THAT ALL DRAINAGE IS DIRECTED AWAY FROM THE EXTERIOR FINISHES (MIN. 2% SLOPE), ALL SOILGRADING RECOMMENDATIONS BY OTHERS.
8. GENERAL CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE, WORKMAN AND OTHER PERSONS DURING CONSTRUCTION, SUCH MEASURES SHALL INCLUDE BUT NOT BE LIMITED TO: BRACING, SHORING FOR CONSTRUCTION EQUIPMENT AND SHORING FOR THE STRUCTURE.
9. ALL INFORMATION SHOWN ON THE PLAN RELATIVE TO DIGGING CONDITIONS BE CAREFULLY TAKEN WITHOUT GUARANTEE OF ACCURACY. WHERE ACTUAL CONDITIONS ARE IN CONFLICT WITH THE PLAN, THEY SHALL BE REPORTED TO THE ENGINEER OF RECORD AND ARCHITECT SO THAT PROPER CHANGES CAN BE MADE.
10. DO NOT REMOVE ANY EXISTING STRUCTURAL ELEMENT WITHOUT CONSULT WITH E.O.R BY WRITING.

SYMBOLS LEGEND

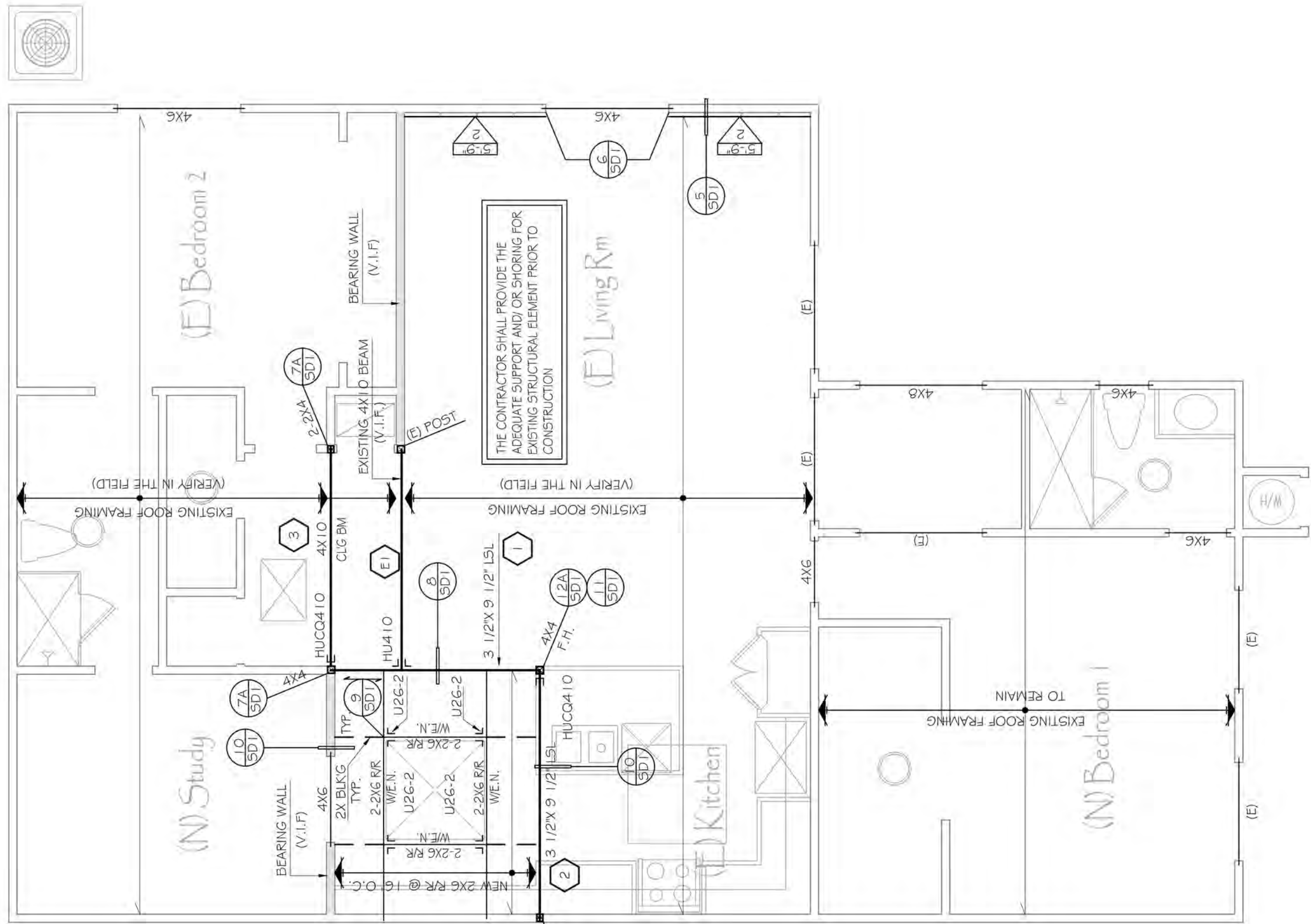
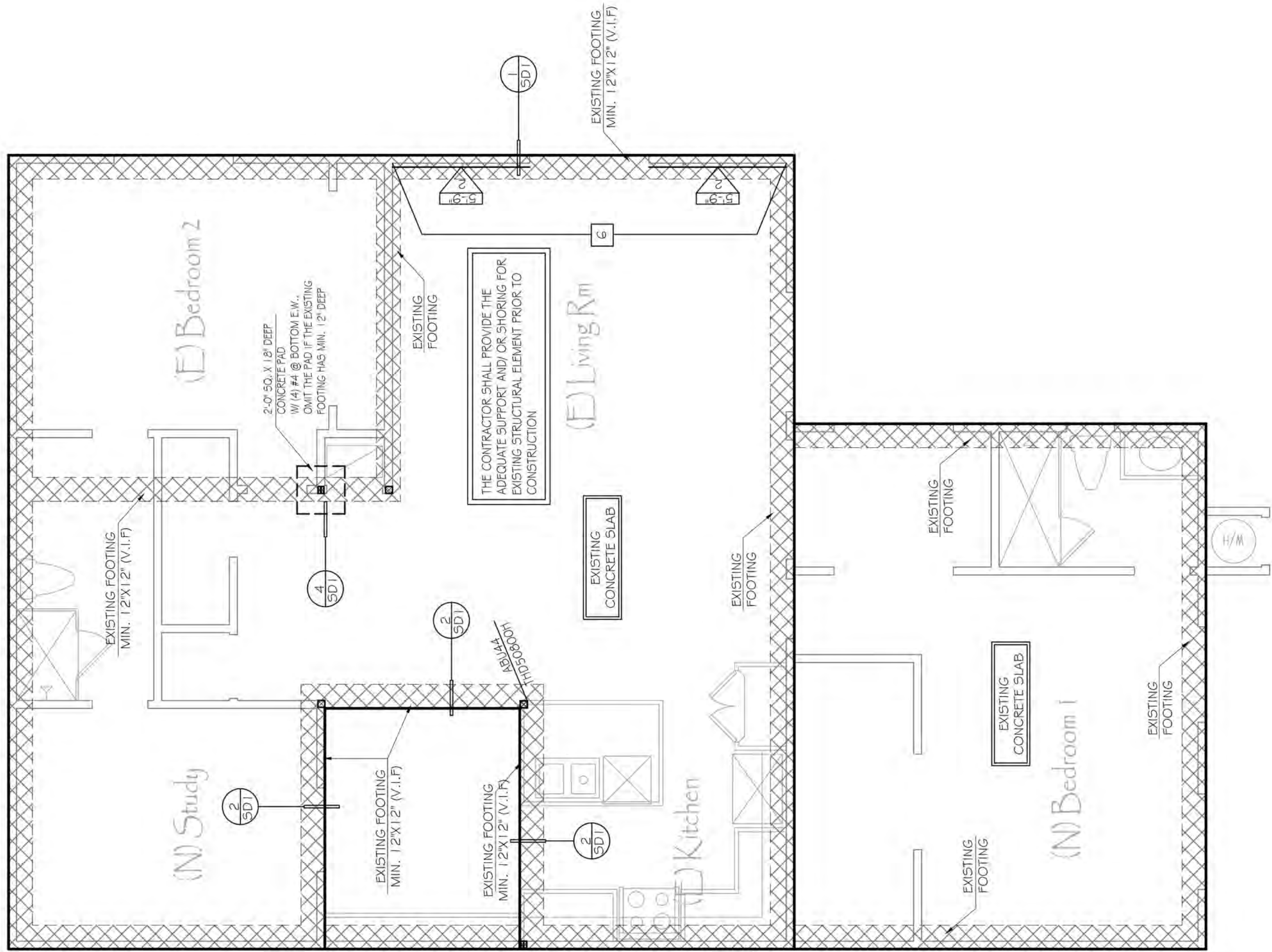


FOUNDATION NOTES

1. REFER TO STRUCTURAL GENERAL NOTES AND REQUIREMENTS (SHEET 50) FOR MORE INFORMATION.
2. THE FOUNDATION DESIGN IS BASED UPON THE MINIMUM PERMISSIBLE LOAD-BEARING VALUES PER 2002 CBC TABLE 1606.2. ALLOWABLE SOIL BEARING PRESSURE OF 1500 psf IS USED.
3. IF THE BUILDING INSPECTOR SUSPECTS FILL, EXPANSIVE SOILS OR ANY GEOLOGIC INSTABILITY BASED UPON THE FOUNDATION EXCAVATION, SOILS SHOULD BE TESTED FOR PROPERTIES. IF THE TEST RESULTS DISCLOSE ANY DEFICIENCY THAT REPORT RECOMMENDATIONS HAVE BEEN INCORPORATED, MAYBE REQUIRED.

FRAMING NOTES

- [illegible]



FRAMING PLAN

FOUNDATION PLAN

SCALE	1/4" = 1'-0"
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SCALE
1/4" = 1'-0"

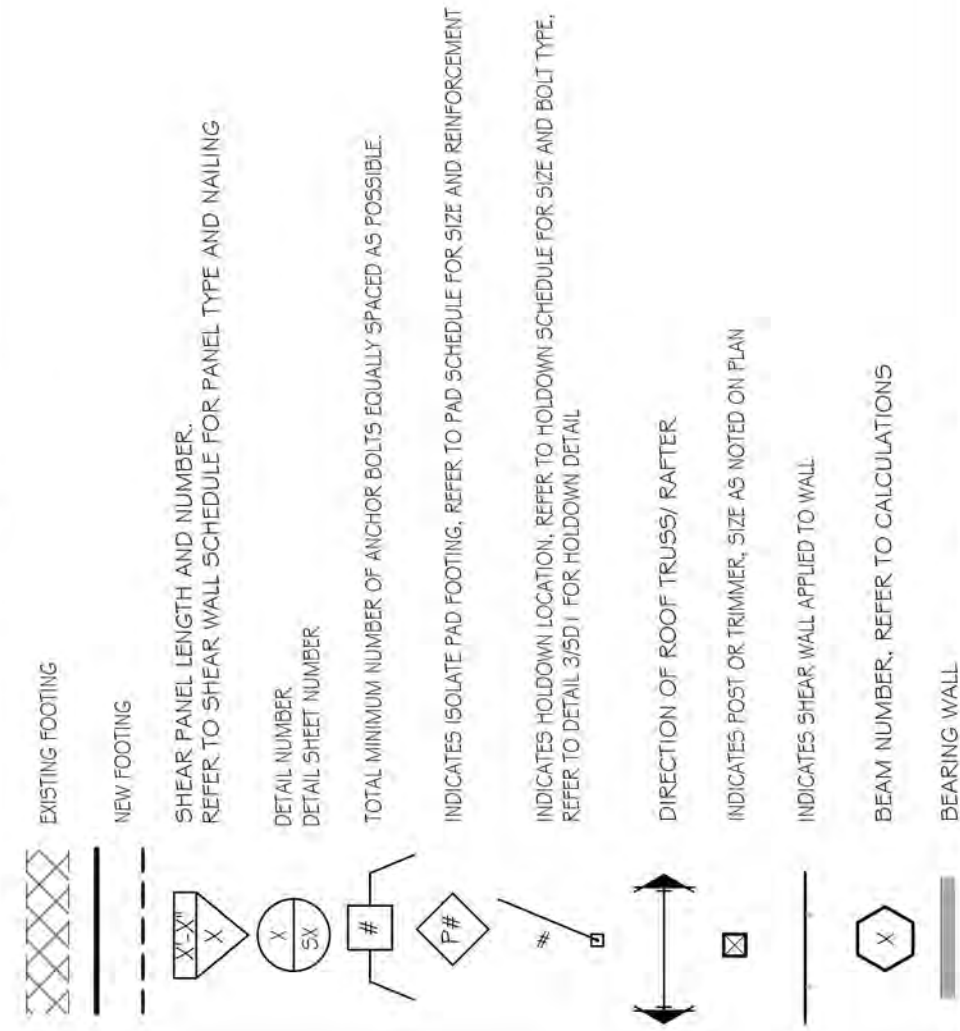
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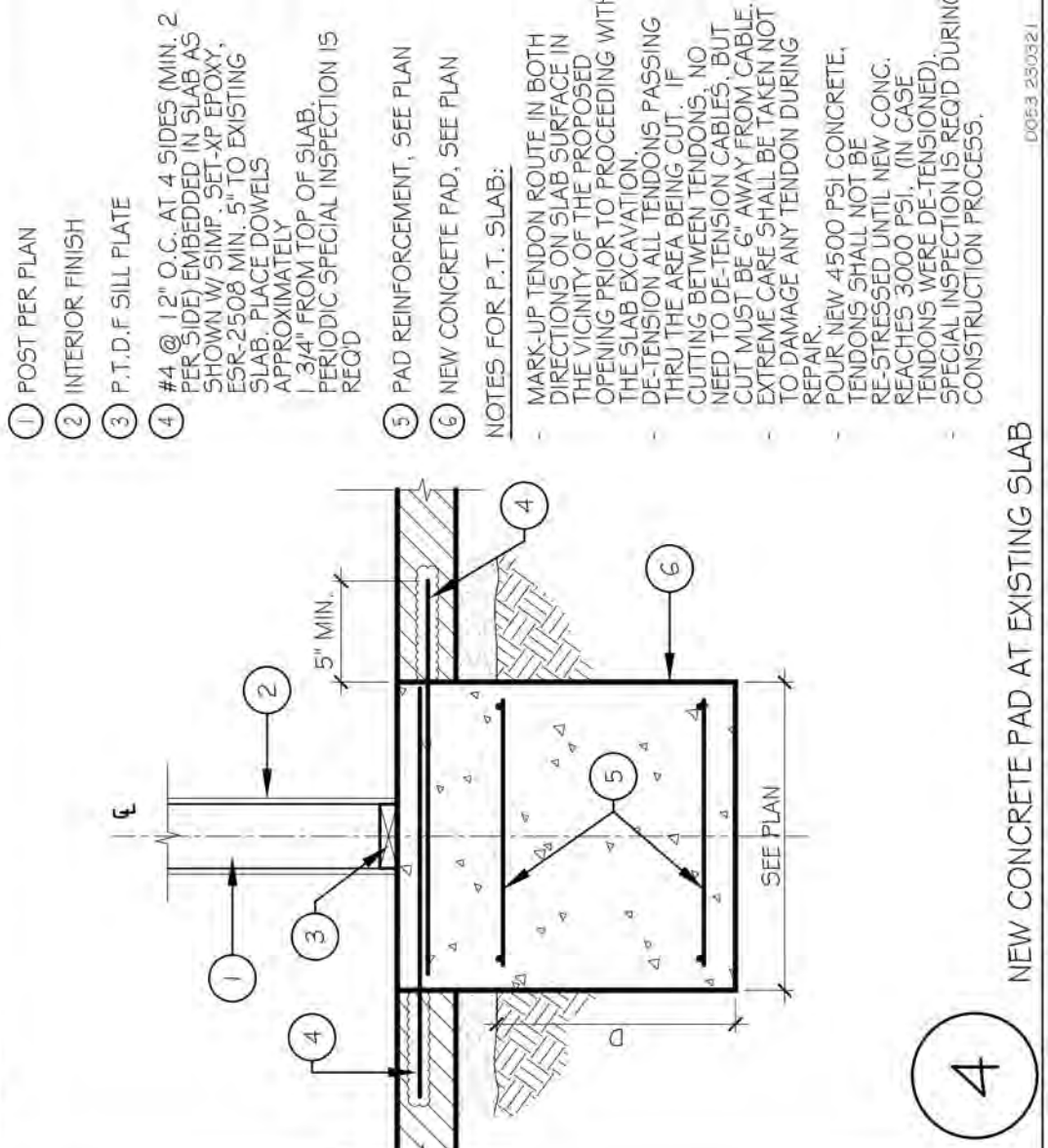
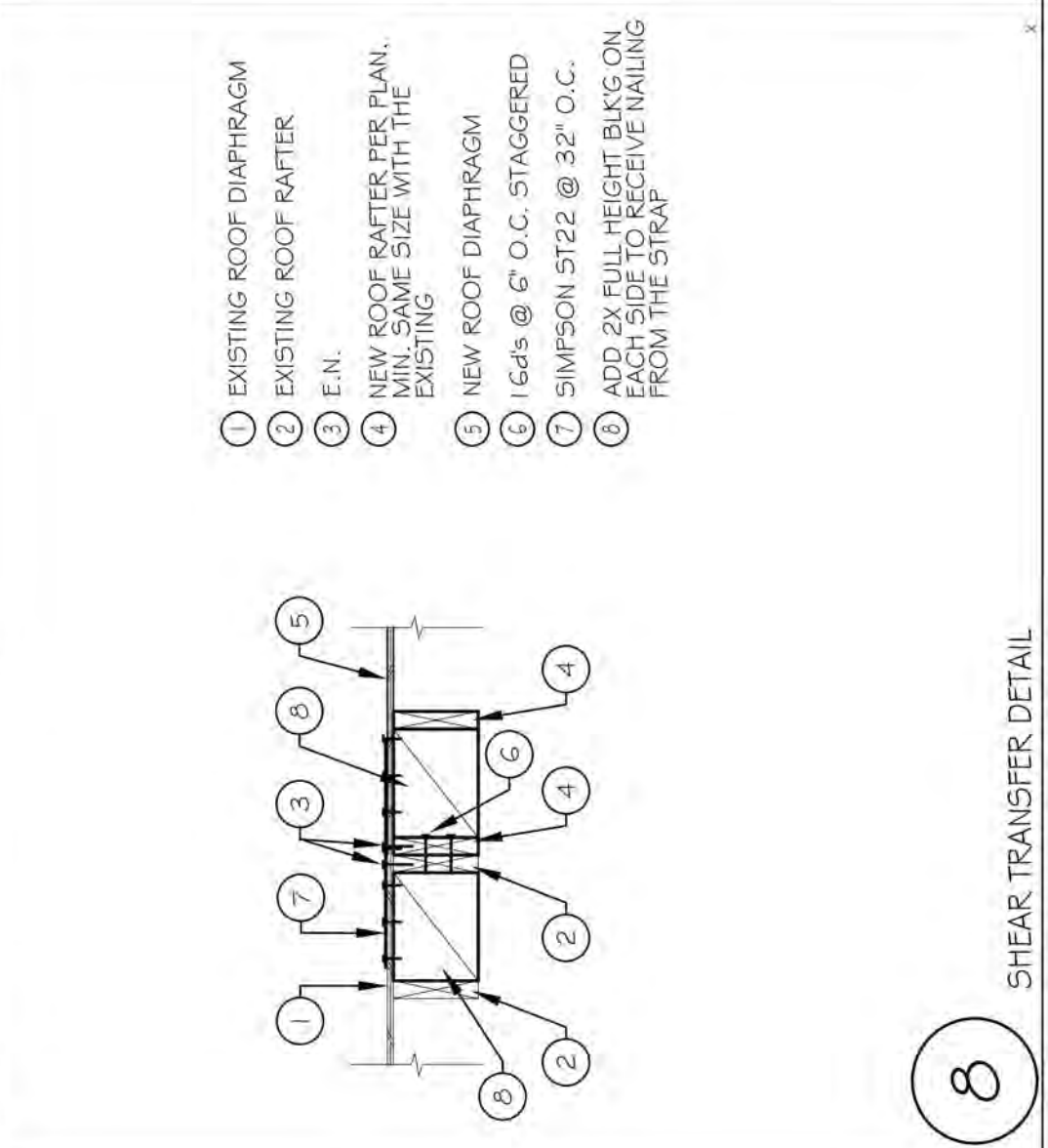
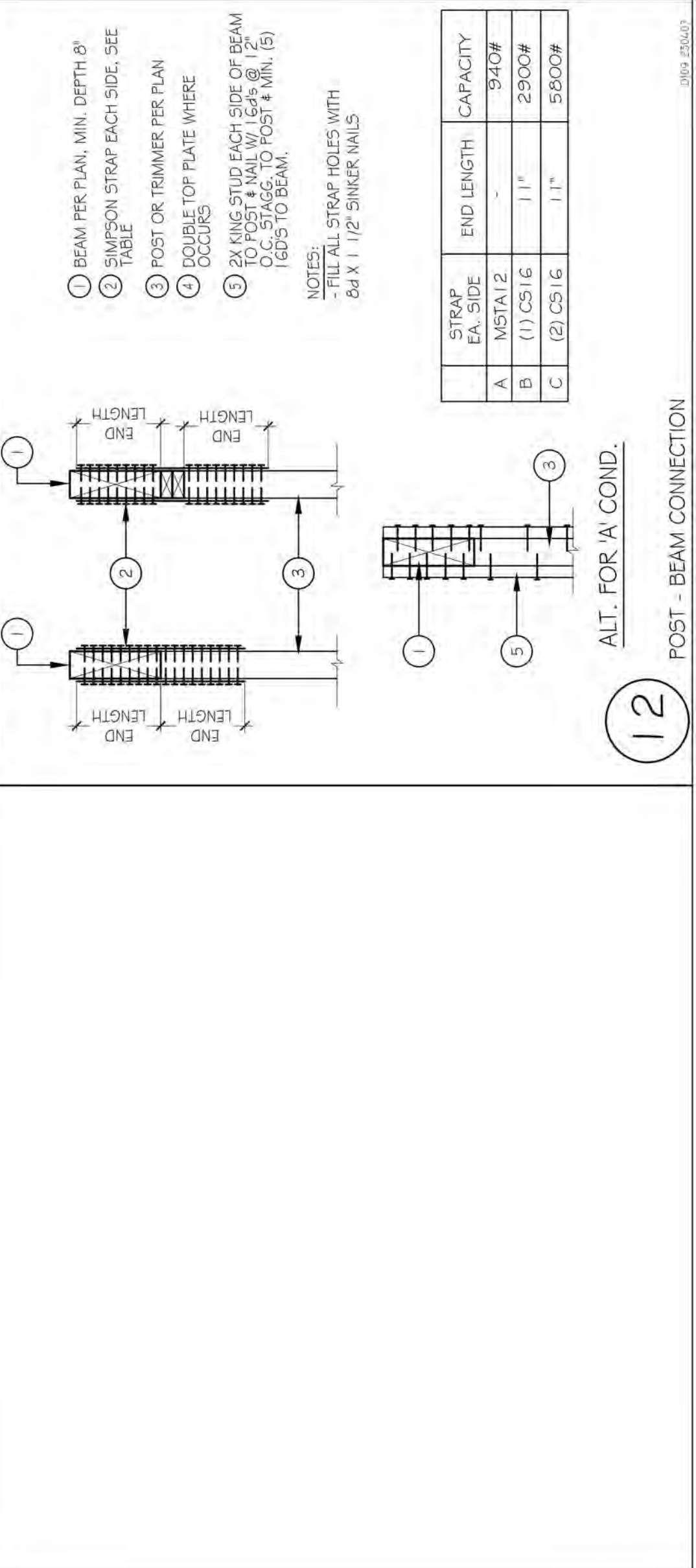
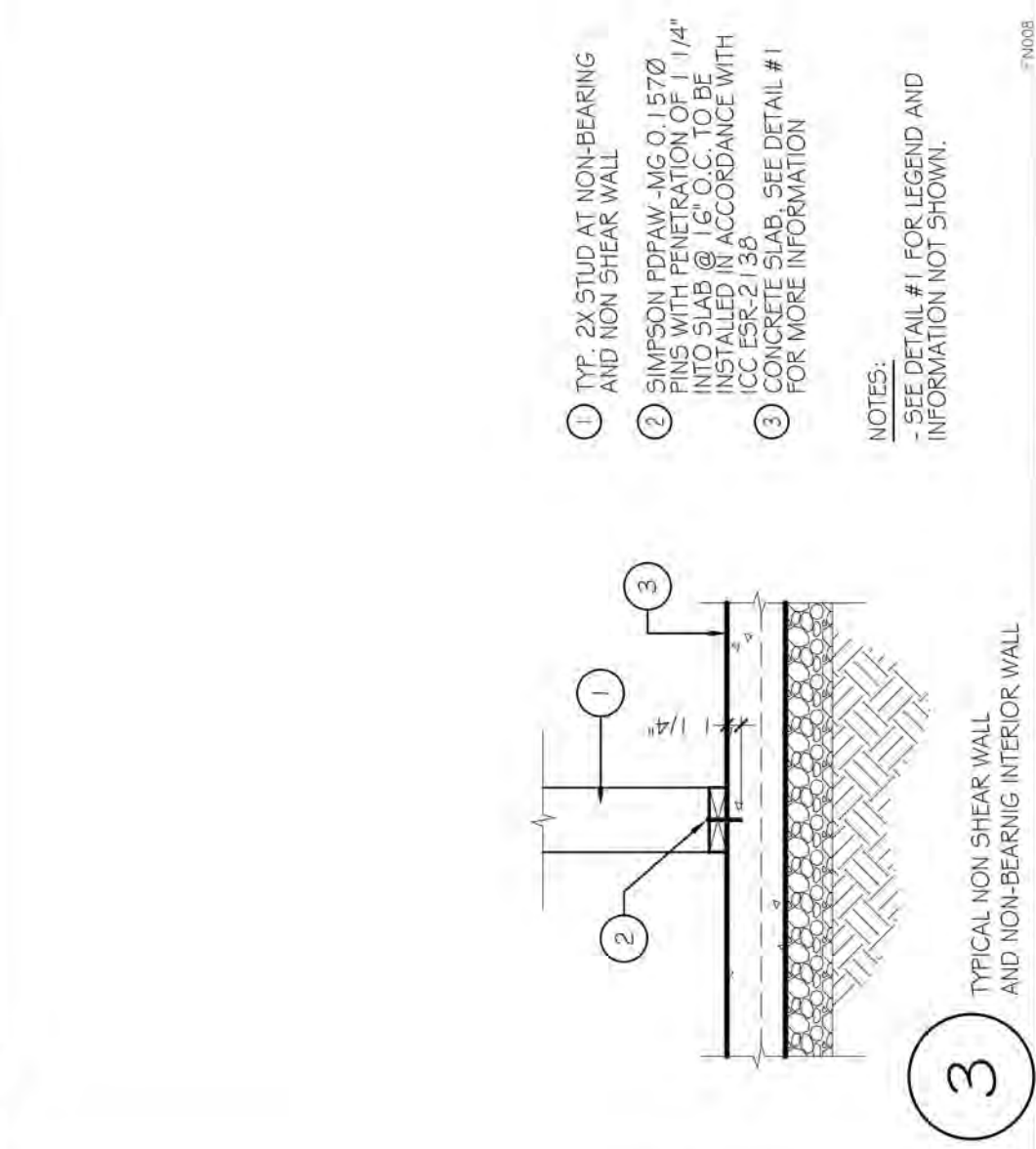
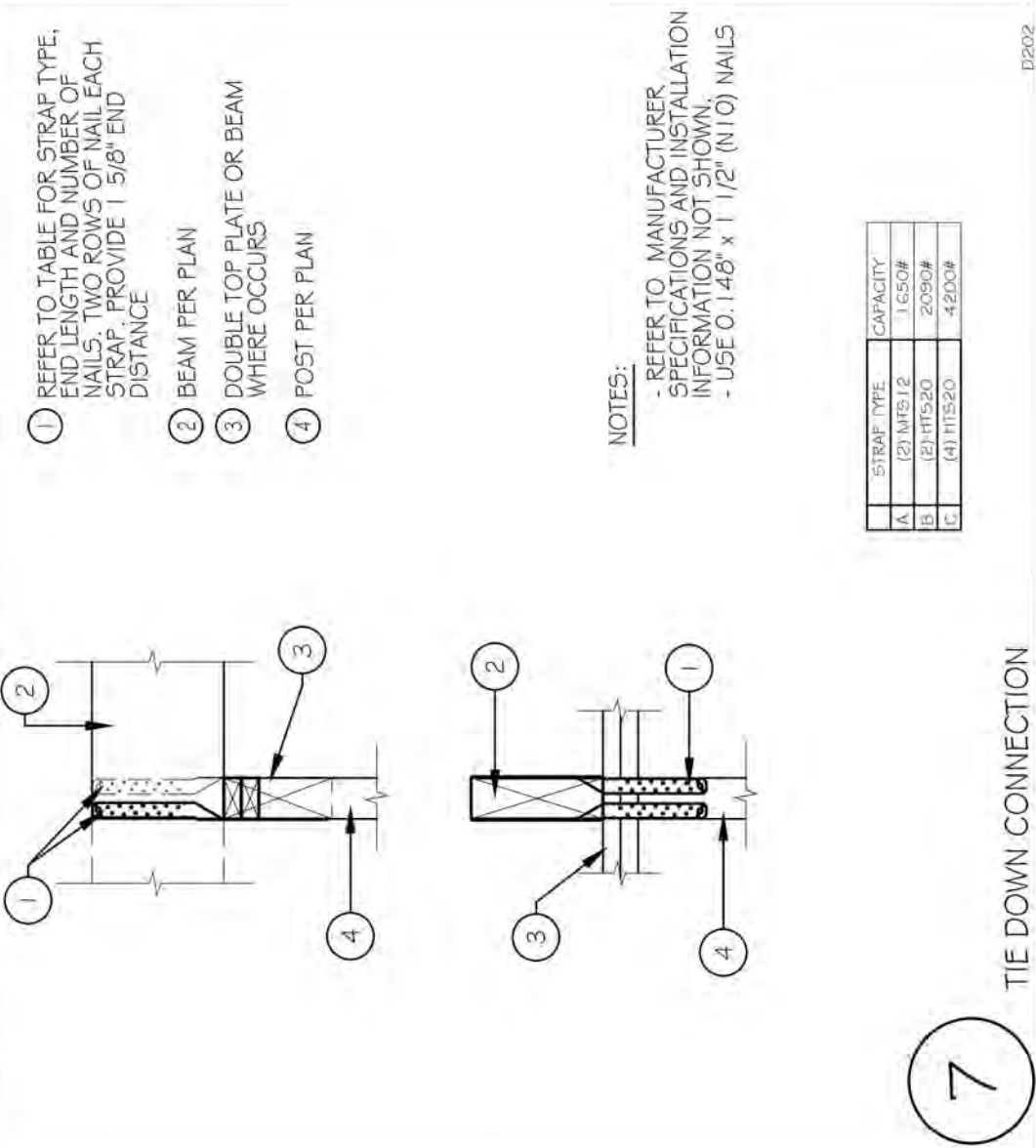
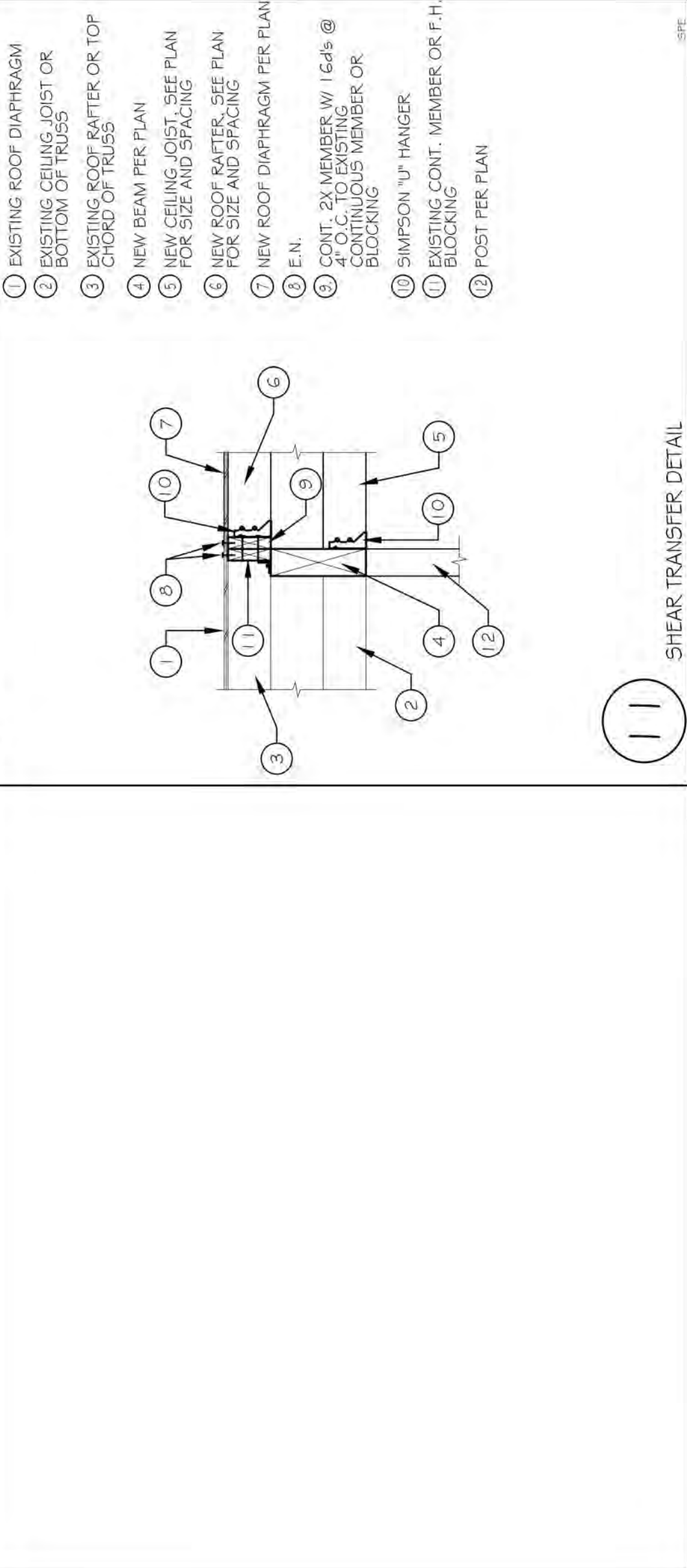
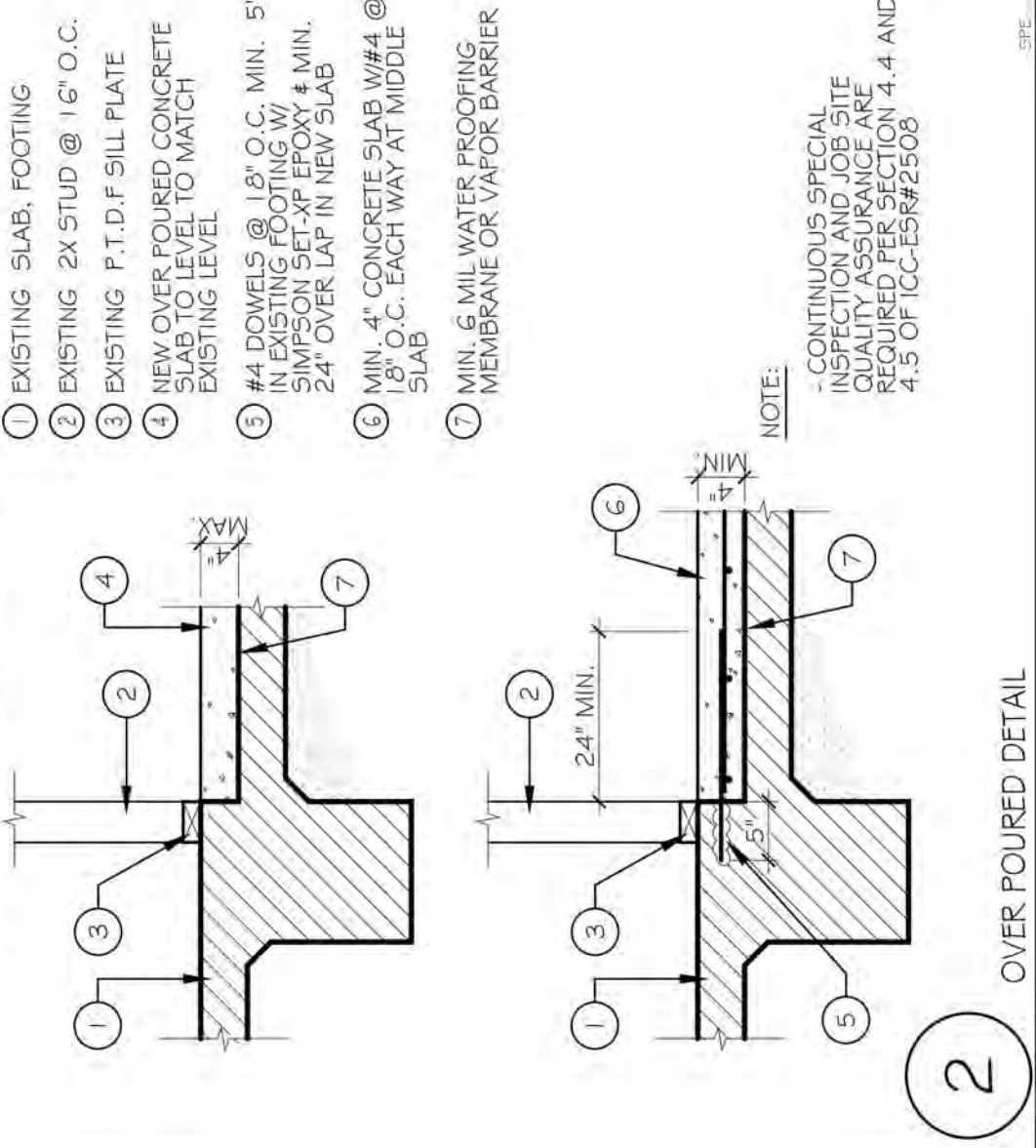
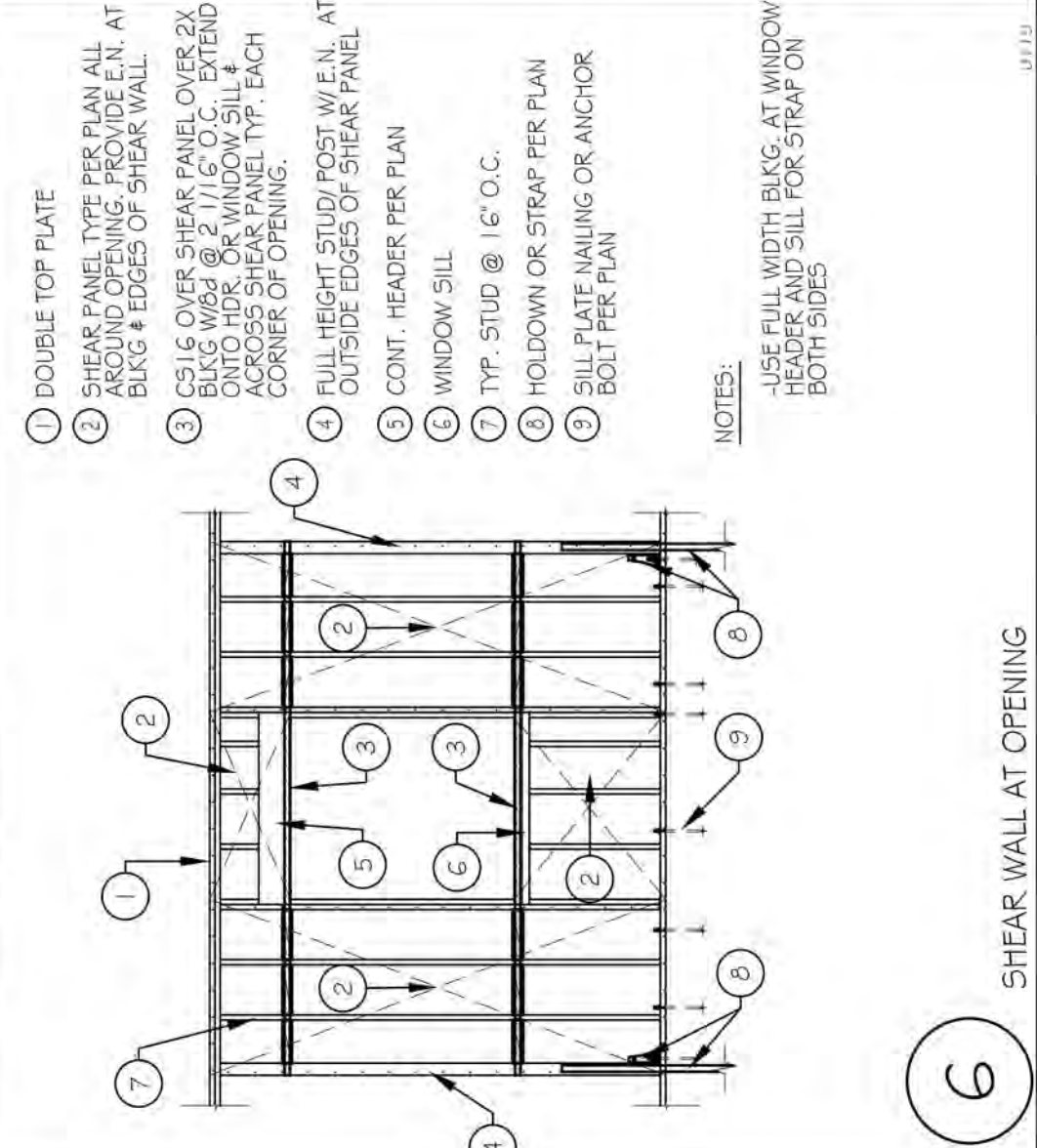
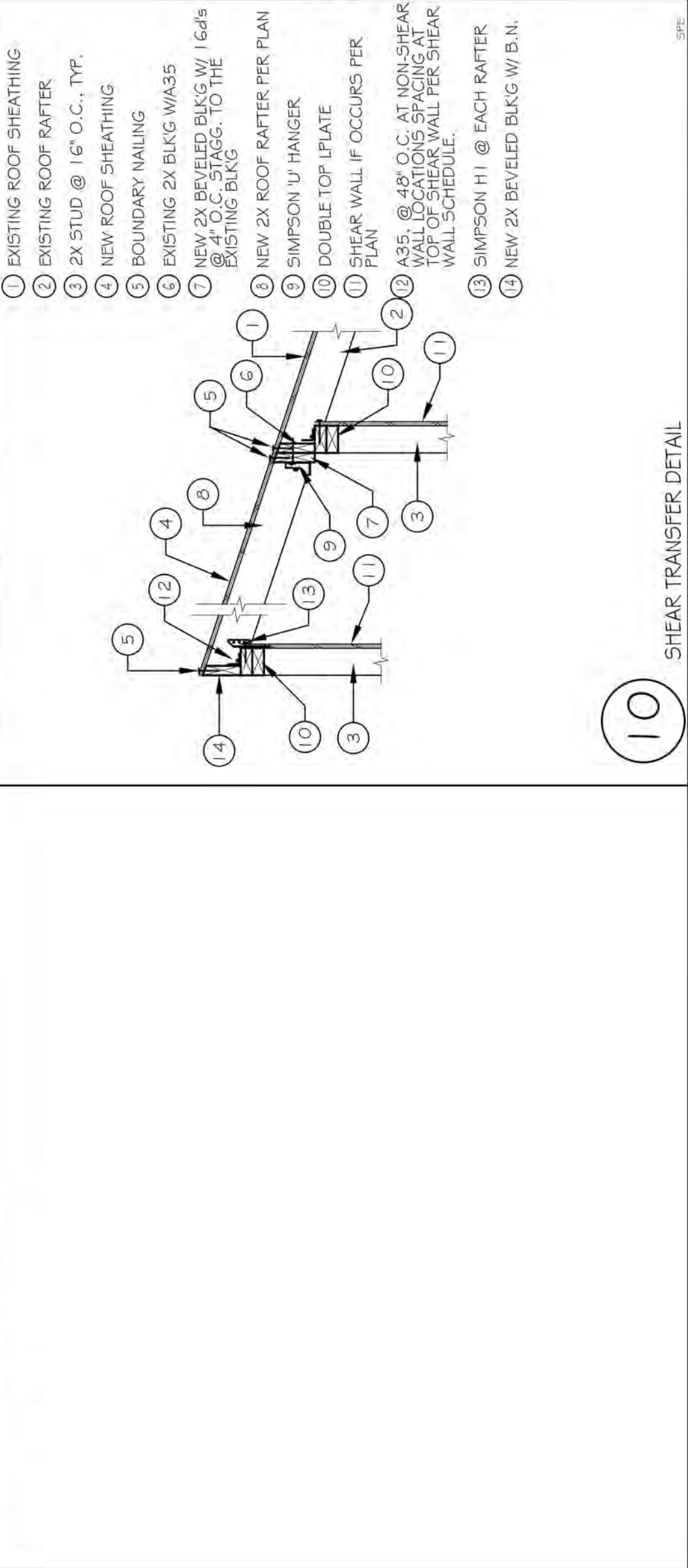
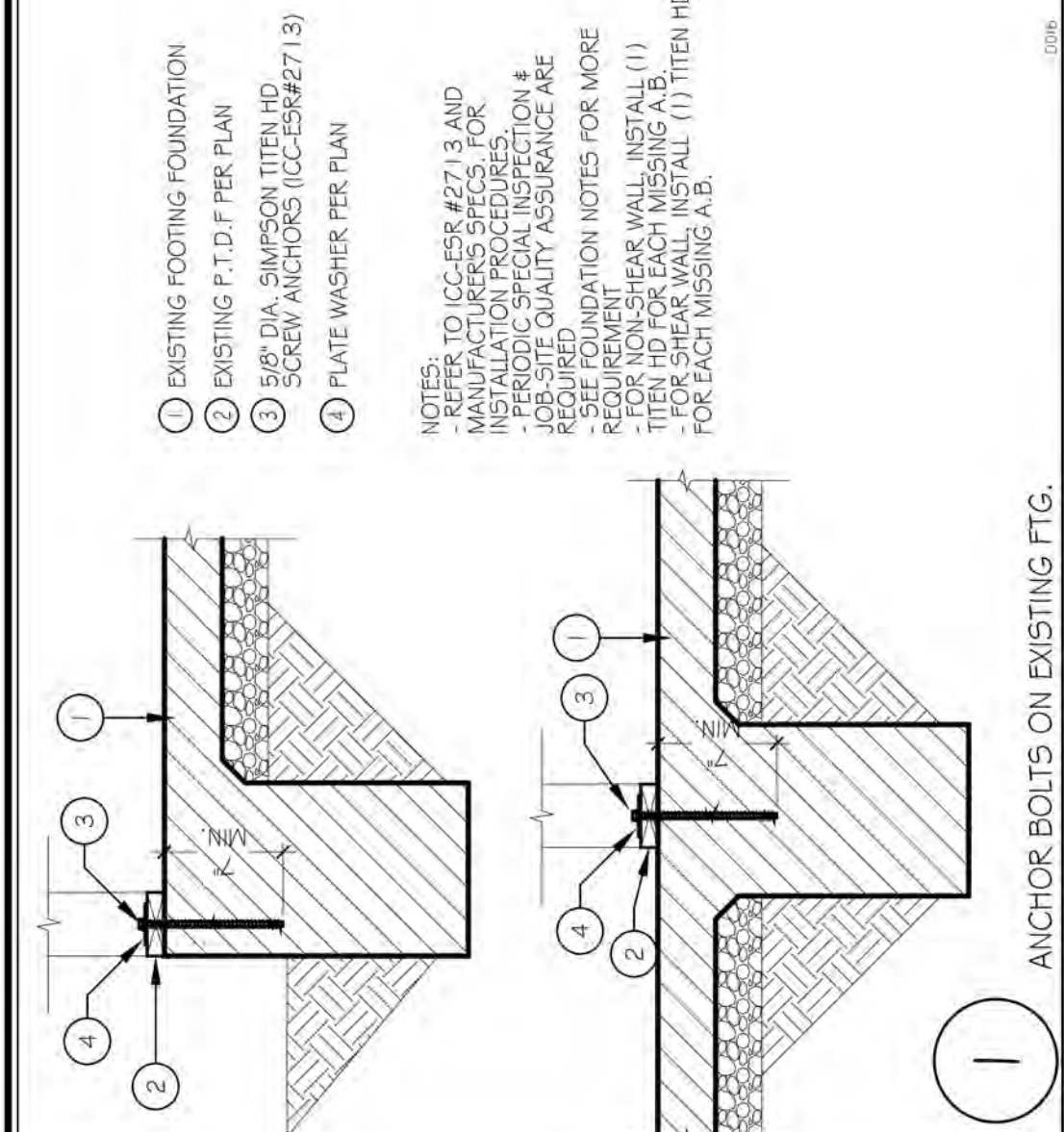
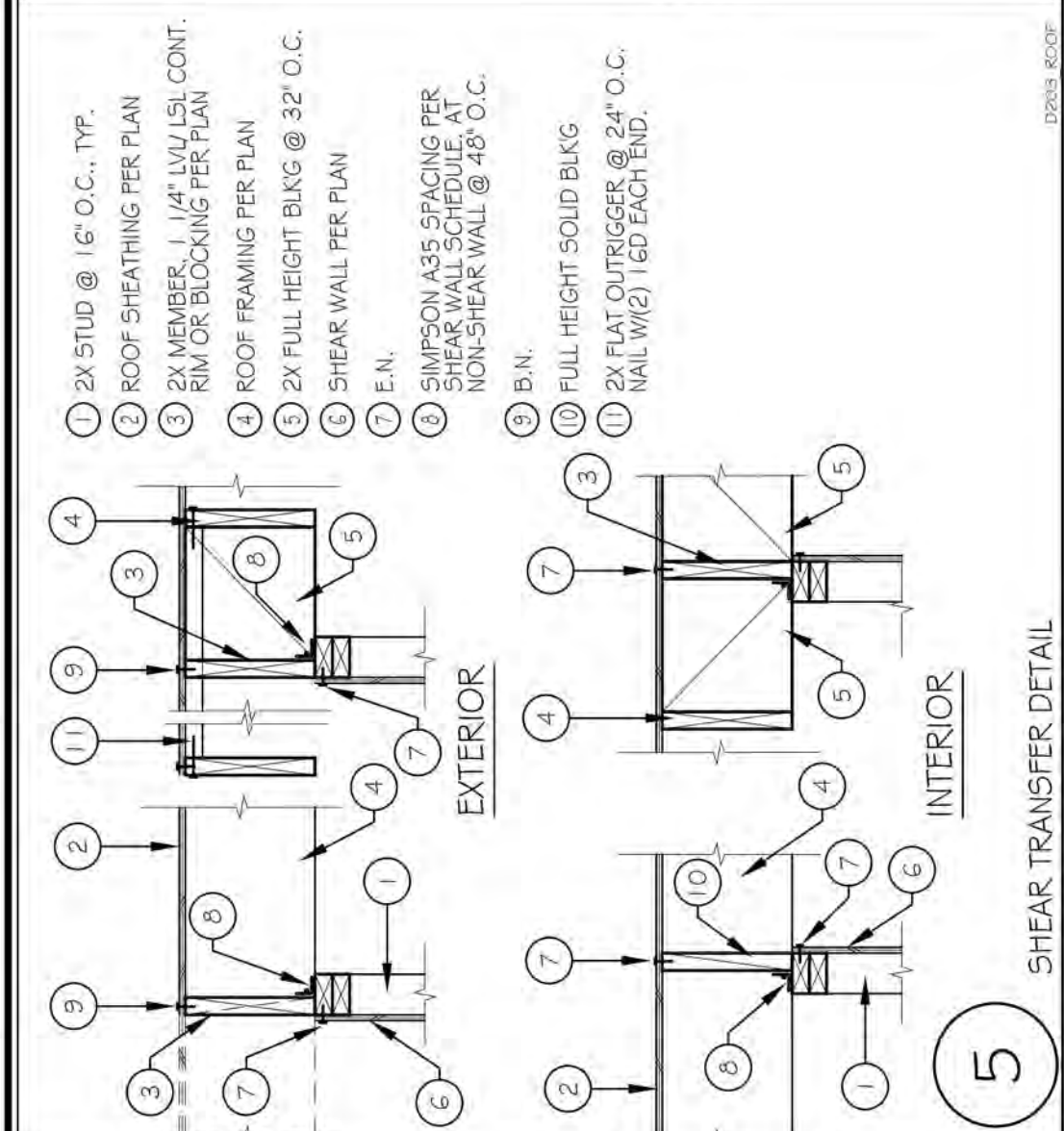
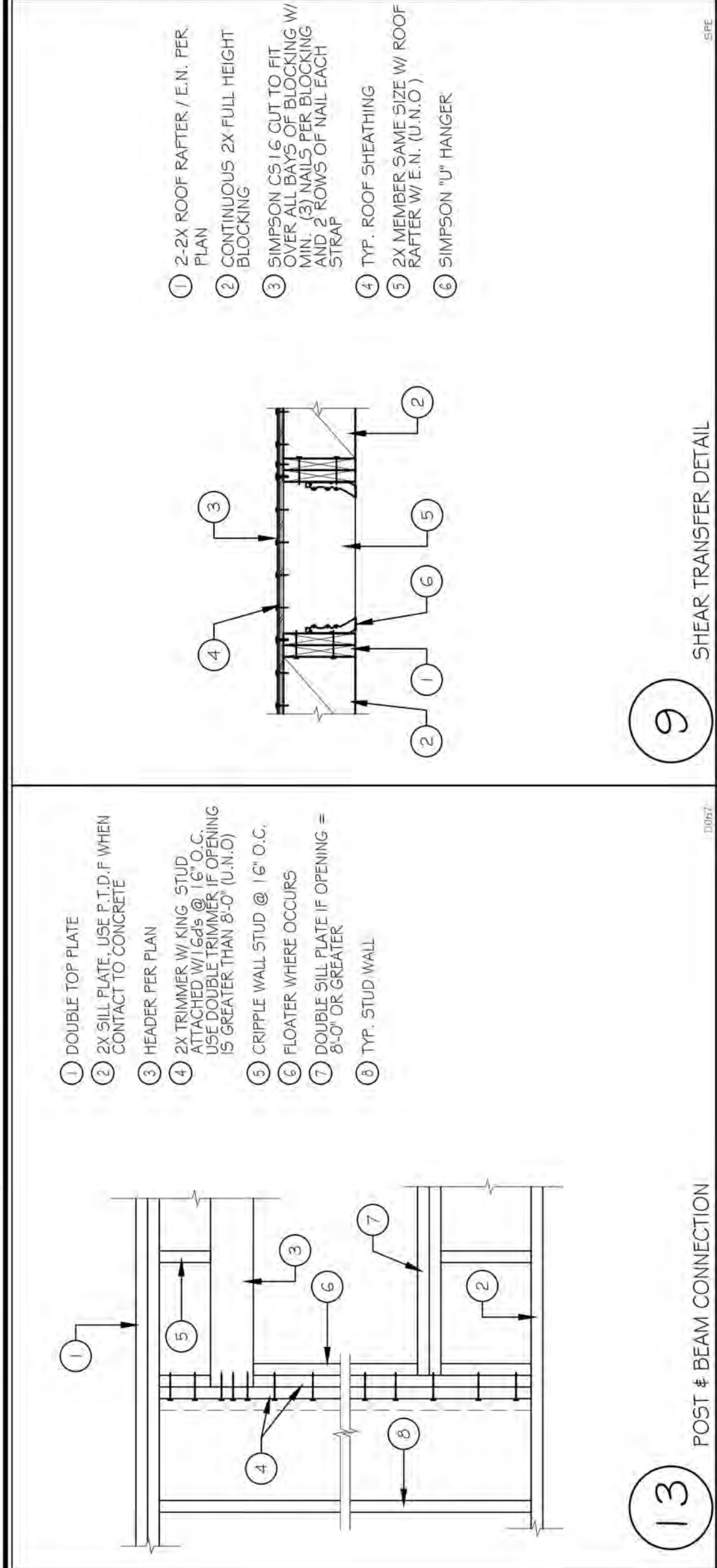
FOUNDATION NOTES

1. REFER TO STRUCTURAL GENERAL NOTES AND REQUIREMENTS (SHEET 50) FOR MORE INFORMATION.
2. THE FOUNDATION DESIGN IS BASED UPON THE MINIMUM PERMISSIBLE LOAD-BEARING VALUES PER 2022 CBC TABLE 1806.2. ALLOWABLE SOIL BEARING PRESSURE OF 1500 psf IS USED.
3. IF THE BUILDING INSPECTOR SUSPECTS FILL, EXPANSIVE SOILS OR ANY GEOLOGIC INSTABILITY PRIOR TO THE FOUNDATION EXCAVATION, SOILS SHALL BE TESTED AND REPORT RECOMMENDATIONS HAVE BEEN INCORPORATED. MAYBE REQUIRED.

FRAMING NOTES

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2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
RESIDENTIAL MANDATORY MEASURES, SHEET 2 (January 2023)

[illegible]

CONDITIONS OF APPROVAL

Manor: 216-D

Variance Description: Convert Laundry to Bathroom with new window, and center Living Room and Bedroom windows

A Variance for Alterations has been granted at the above manor, subject to the attached plans stamped approved and is subject to a final inspection by the Division. Any variations to the approved attached plans are not allowed and could result in a stop work notice and/or disciplinary action taken against the Member.

Manor-Specific Conditions:

A. General Comments:

- A.1. The Member shall provide plans, specifications, and calculations from a duly licensed architect or structural engineer to conform to the Building Code for all footing and foundation additions and modifications for the work of this variance, up to and including both patio wall modifications and new construction retaining wall.
- A.2. A City of Laguna Woods Building Permit will be required and provided to Manor Alterations to verify all code requirements for new or modified structural components, and shoring have been satisfied.

B. Materials and Methods:

- B.1. The new alteration roof must be installed using materials to match the existing Mutual roof to which it will be tied into (PVC). All tie-in requirements outlined in section G.2. must be met.
- B.2. Where possible all materials and methods must correspond to existing mutual standards i.e. window construction, exterior finishes etc.

C. Requirements for Mutual Consent for Alterations:

- C.1. Prior to the Issuance of a Mutual Consent for Alterations, a complete set of unit specific plans, specifications and calculations prepared by a licensed

architect or structural engineer depicting the proposed improvement must be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict any required structural modifications ensuring the structural integrity of the building is maintained upon completion of the proposed improvement.

D. Requirements for Final Inspection by Manor Alterations:

- D.1. Prior to Final Inspection by Manor Alterations, a scanned copy of the City-Approved and Stamped plan set shall be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict the work as completed and approved by the City, including all structural and architectural modifications.
- D.2. Prior to Final Inspection by Manor Alterations, all altered exterior surfaces should match the Building texture and color; vinyl fence/gate will be either white or taupe, tubular steel or wrought iron fence/gate will be black or existing body color of the building; the approved colors and materials are available at Resident Services, located at the Community Center first floor.

General Conditions:

G. General Conditions

- G.1. No improvement shall be installed, constructed, modified or altered at 216-C, ("Property") within the United Laguna Woods Mutual ("Mutual") without an approved Mutual Consent for Alterations application for the improvement has been made to, and approved, in writing, by, the Village Management Services, Inc. ("VMS, Inc."), Alterations Division ("Division"), or, in the event of a Variance from the Mutual's Alteration Standards, the Architectural Control and Standards Committee ("ACSC"). In the event written permission is given for the installation, construction, modification or alteration of any improvement(s) upon the Property, the Member or Members ("Member") agrees to comply with the Mutual's Governing Documents and any specific terms or conditions imposed, and that the installation, construction, modification or alteration shall be in strict compliance with the terms of the approval.
- G.2. Prior to the issuance of a Mutual Consent for Alterations, if required, a Mutual Roof Alteration Notification ("Tie-In Form") must be submitted to the Division. All roof tie-ins must be performed by a C-39 Licensed Contractor. The Member

may hire a C-39 Licensed Contractor of his/her own choice to perform roof tie-ins for the installation of alterations on all roof types except PVC Cool Roofs. For PVC Cool Roofs, regardless of the roof type, all tie-ins must be performed by the Mutual's roofing contractor at the Member's expense. All tie-ins may only be made to sound structural elements. Existing structural elements proposed to be tied to, which exhibit signs of dry rot or other structural defects, must first be replaced or repaired at the Member's expense during construction of the improvement.

- G.3. Member hereby consents to and grants to the Mutual and the Maintenance and Construction Department, and their representatives, a right of entry upon the Property, with reasonable notice, to inspect the permitted improvements, and for their representatives and contractors to remedy any violation upon the Property, including, but not limited to, unauthorized disturbance of regulated materials, removing trash from common areas, removing any improvement installed without approval or modifying an improvement to bring the same into compliance with the terms of the approval. Any remedial work performed on behalf of the manor owner as a result of violations to Mutual policy and/or regulatory violations will be processed as a chargeable service.
- G.4. All costs for maintenance, repair, renovation, replacement or removal of the improvement, present and future, are the responsibility of the Property's Member at 216-D and all future Mutual Members at 216-D.
- G.5. Member shall be responsible for all activity by contractors, subcontractors, material suppliers and their employees and agents and any others who perform work on the Property, including any violation of the Mutual's Governing Documents, including, but not limited to, traffic and parking violations, maintenance of a clean job site at all times, damage to Mutual property, and use of Mutual property for storage of equipment or materials without prior approval. Member acknowledges and agrees that all such persons are his/her invitees. Member shall be responsible for informing all his/her invitees of the Mutual's Rules and Regulations.
- G.6. Member shall be liable for any violation of the Mutual's Governing Documents by any invitee, including any fine, assessment or other charge levied in connection therewith.
- G.7. Member is responsible for following the gate clearance process (<http://www.lagunawoodsvillage.com/residents/resident-services> and click on

documents and Business Pass Application Instructions) in place to admit contractors and other invitees.

- G.8. Member's contractors and other invitees shall have business signage on vehicles and travel to and from the job site by the most direct route available and are not authorized to use Mutual recreational facilities or other amenities while they are in the Village for performance of work in connection with the Property.
- G.9. Parking of contractors or other invitees' vehicles is prohibited in covered resident parking, open resident spaces, handicapped spaces or fire lanes. Contractors or other invitees must park on the street. To the extent possible contractors' or other invitees' vehicles should be limited in number.
- G.10. Must obtain an approved Mutual Consent application within 180 days or 6 months of the variance approval before it is expired.
- G.11. A City of Laguna Woods permit may be required, which may include the requirement to obtain clearance from the South Coast Air Quality Management District (Asbestos Hot Line at (909) 396-2336). Prior to the issuance of a City of Laguna Woods permit an applicant must present the appropriate Mutual Consent issued by Manor Alterations to the City. Please complete this step with Manor Alterations prior to submitting an application to the City. Once the City issues a Building Permit, you must submit a copy of the permit with the permit number to Manor Alterations. The City permit must be finalized within the prescribed timeframe, and a copy of the final permit must be submitted to the Division within two weeks.
- G.12. Prior to the issuance of a Mutual Consent for Alterations, a complete set of unit specific plans prepared by a licensed architect or structural engineer depicting the proposed improvement must be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict any required structural modifications ensuring the structural integrity of the building is maintained upon completion of the proposed improvement.
- G.13. All improvements must be installed in accordance with the California State Building Code, and the published Mutual Architectural Alterations Standards, Policies and Guidelines. See <http://www.lagunawoodsvillage.com>.
- G.14. During construction, work hours established by the Mutual and the Noise Ordinance set forth in the City of Laguna Woods Municipal Code must be

adhered to at all times.

- G.15. During construction, both the Mutual Consent for Alterations and the City Building Permit must be on display for public view at all times in a location approved by the Division.
- G.16. It is mandatory that no waste or materials associated with the construction be dumped in the Village trash bins; such waste or materials associated with the construction must be disposed of offsite by the contractor.
- G.17. A dumpster is approved for placement at the location identified by Security Staff by calling 949-580-1400. All dumpsters must conform to the Policy for Temporary Containers. Dumpsters must be ordered from the approved City of Laguna Woods waste hauler and must be maintained at all times.
- G.18. Dumpsters must be ordered from the approved City of Laguna Woods waste hauler and must be maintained at all times.
- G.19. A portable bathroom is approved for placement at the location identified by Security Staff by calling 949-580-1400.
- G.20. The Mutual Consent for Alterations expires six months after the date of Notice of Approval issued by Manor Alterations, unless an application is submitted with fees and approved by the Division for an extension. Only one extension for a maximum of an additional six months may be granted.
- G.21. Violations of the forgoing conditions or the Mutual's Governing Documents (See <http://www.lagunawoodsvillage.com>), including, but not limited to, unpaid assessments, work outside the approved plans, excessive noise, illegal dumping, or working after hours, will result in disciplinary action, which could result in a stop work notice, loss of privileges and/or severe fines to the Member. Such fines left unpaid will result in forfeiture of a portion or all of the Conformance Deposit required above or other legal remedy.
- G.22. Member shall indemnify, defend and hold harmless United Laguna Woods Mutual and its officers, directors, committee Members and agents from and against any and all claims, demands, costs, fines, judgments, settlements and any other costs, expenses, amounts and liabilities arising from Member's improvements and installation, construction, design and maintenance of same.

ATTACHMENT 6
RESOLUTION DRAFT

RESOLUTION 01-23-XX

Variance Request

WHEREAS, Member of 216-D Avenida Majorca, a Madrid style manor, requests Board approval of a variance to convert Laundry Room to Bathroom with new window, and center Living Room and Bedroom windows; and

WHEREAS, a Neighborhood Awareness Notice was sent to Members of affected units notifying them that an application to make an alteration to a neighboring unit had been made and that comments or objections could be made in writing to the Architectural Controls and Standards Committee or in person at the Architectural Controls and Standards Committee Meeting on December 21, 2023; and

WHEREAS, the Architectural Controls and Standards Committee reviewed the variance and moved for approval of the variance to convert Laundry Room to Bathroom with new window, and center Living Room and Bedroom windows;

NOW THEREFORE BE IT RESOLVED, on January 9, 2023, the United Laguna Woods Mutual Board of Directors hereby approve the request to convert Laundry Room to Bathroom with new window, and center Living Room and Bedroom windows; and

RESOLVED FURTHER, all costs for maintenance, repair, renovation, replacement or removal of the improvement, present and future, are the responsibility of the Member at 216-D Avenida Majorca and all future Mutual Members at 216-D Avenida Majorca; and

RESOLVED FURTHER, that the officers and agents of this Corporation are hereby authorized on behalf of the Corporation to carry out the purpose of this resolution.



STAFF REPORT

DATE: December 21, 2023
FOR: Architectural Control and Standards Committee
SUBJECT: Revision to Standard 18: Gutters and Downspouts

RECOMMENDATION

Staff recommends that the United Architectural Control and Standards Committee (ACSC) endorse the revised Standard 18: Gutters and Downspouts.

BACKGROUND

The ACSC initiated a review of the current Standard 18: Gutters and Downspouts (Attachment 1) and proposed revisions to the Standard are intended to bring it up to current standards and improved designs. Standard 18 was last revised in June 2019, via Resolution 01-19-49 (Attachment 2).

DISCUSSION

In order to improve the flow capacity of rain gutters and reduce maintenance, staff proposes to revise this standard to use K-style rain gutters (similar to the ones that VMS contractors use when installing or replacing rain gutters).

On November 16, 2023 the ACSC reviewed and voted unanimously to recommend that the Board of Directors approve the revisions to Standard 6.

FINANCIAL ANALYSIS

The proposed revisions to Standard 18 do not impact the budget.

Prepared By: Baltazar Mejia, Maintenance & Construction Assistant Director

Reviewed By: Alan Grimshaw, Manor Alterations Manager
Gavin Fogg, Manor Alterations Supervisor

ATTACHMENT(S)

Attachment 1 – Current Standard 18: Gutters and Downspouts
Attachment 2 – Current Resolution 01-19-49
Attachment 3 – Redlined Revised Standard 18: Gutters and Downspouts
Attachment 4 – Final Draft Standard 18: Gutters and Downspouts
Attachment 5 – Proposed Resolution 01-23-XX



STANDARD 18: GUTTERS & DOWNSPOUTS

OCTOBER 2010, RESOLUTION 01-10-224

GENERAL REQUIREMENTS REVISED JUNE 2011, RESOLUTION 01-11-104

GENERAL REQUIREMENTS REVISED JANUARY 2016, RESOLUTION 01-16-08

GENERAL REQUIREMENTS REVISED JUNE 2018, RESOLUTION 01-18-57

REVISED NOVEMBER 2018, RESOLUTION 01-18-113

REVISED JUNE 2019, RESOLUTION 01-19-49

1.0 GENERAL REQUIREMENTS

SEE STANDARD SECTION 1: GENERAL REQUIREMENTS

2.0 APPLICATIONS

- 2.1** Gutters must be a minimum 5" wide, measured at the top.
- 2.2** Alteration aluminum gutters and downspouts are not allowed to be connected to original steel gutters and downspouts. If the alteration gutter system must be connected to an original steel gutter system, the Member is responsible for replacing the original steel gutter system with new aluminum that matches the original style and color.
- 2.3** Gutters are to be made of aluminum with a minimum gauge of .027. Vinyl coated aluminum is permitted. Copper or steel gutters and downspouts are not permitted.
- 2.4** Gutters are required to slope one inch for every 20 feet toward the downspout.
- 2.5** Gutters in excess of 35 feet in length are to be sloped down both directions from the middle and have a downspout installed at each end.
- 2.6** Gutters attached to the Mutual owned fascia are required to be attached using ring shank spikes or wood screws. Smooth, striated and spiral spikes are prohibited.

- 2.7** Hidden hangers and spikes are required to be spaced at a minimum of 30 inch.
- 2.8** All penetrations must be properly sealed. Exposed wood must be properly primed and painted to match the existing paint of the building.
- 2.9** Applications to roofs where hangers penetrate or may harm the roofing in any way will not be allowed. Attachments to buildings with PVC roofs are required to be approved by the Alteration Division prior to installation. Member shall be responsible for all damages to roofs.
- 2.10** Downspouts are required to be 3" x 4" and are to be located in areas free from obstacles such as electric meters, hose bibs and sidewalks; and in the most inconspicuous location as possible.

The ends of downspouts must drain into a proper drainage system such as a drywell, or onto pavement, or a splash block that routes the water at least five feet downhill from the foundation of the building and onto properly graded soil.
- 2.11** Drywells must be five feet away from buildings, if possible.

RESOLUTION 01-19-49

REVISE ALTERATION STANDARD 18: GUTTERS AND DOWNSPOUTS

WHEREAS, the Architectural Controls and Standards Committee recognizes the need to amend Alteration Standards and create new Alteration Standards as necessary; and,

WHEREAS, the Architectural Controls and Standards Committee recognizes the need to revise Alteration Standard 18: Gutters and Downspouts.

NOW THEREFORE BE IT RESOLVED, June 11, 2019, that the Board of Directors of this Corporation hereby adopts the revisions to Alteration Standard 18: Gutters and Downspouts, attached as part of the official minutes of this meeting;

RESOLVED FURTHER, that Resolution 01-18-113, adopted November, 2018, is hereby superseded and cancelled; and

RESOLVED FURTHER; that the officers and agents of this Corporation are hereby authorized on behalf of the Corporation to carry out this resolution as written.



STANDARD 18: GUTTERS & DOWNSPOUTS

OCTOBER 2010, RESOLUTION 01-10-224

GENERAL REQUIREMENTS REVISED JUNE 2011, RESOLUTION 01-11-104

GENERAL REQUIREMENTS REVISED JANUARY 2016, RESOLUTION 01-16-08

GENERAL REQUIREMENTS REVISED JUNE 2018, RESOLUTION 01-18-57

REVISED NOVEMBER 2018, RESOLUTION 01-18-113

REVISED JUNE 2019, RESOLUTION 01-19-49

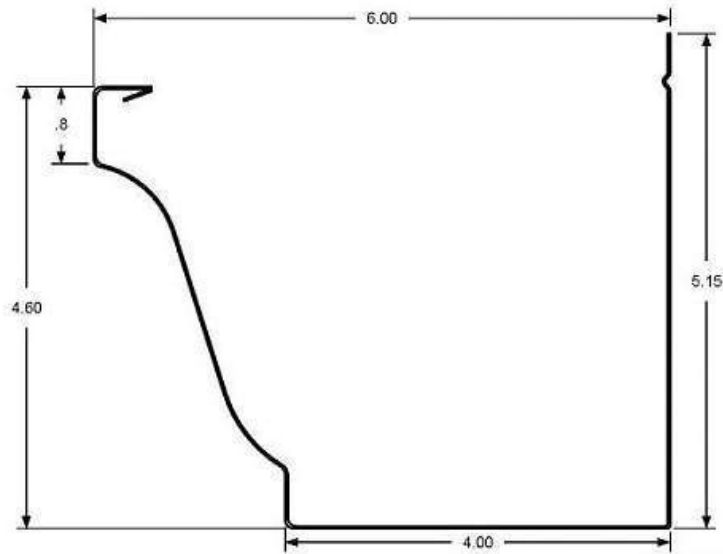
REVISED [DATE], RESOLUTION 01-23-XX

1.0 GENERAL REQUIREMENTS

SEE STANDARD SECTION 1: GENERAL REQUIREMENTS

2.0 APPLICATIONS

- 2.1 Gutters ~~must be a minimum 5" wide, measured at the top, shall be installed per industry standards and sloped towards the downspouts.~~
- 2.2 Downspouts shall be installed at intervals appropriate for its installation in compliance with The Sheet Metal and Air Conditioning Contractors' National Association (SMACNA). No downspout may be installed that will drain into an area that will affect surface drainage in an adverse way. ~~Alteration aluminum gutters and downspouts are not allowed to be connected to original steel gutters and downspouts. If the alteration gutter system must be connected to an original steel gutter system, the Member is responsible for replacing the original steel gutter system with new aluminum that matches the original style and color.~~
- 2.3 Installations to roof systems where hangers penetrate or may harm the roofing material in any way are prohibited. ~~Gutters are to be made of aluminum with a minimum gauge of .027. Vinyl coated aluminum is permitted. Copper or steel gutters and downspouts are not permitted.~~
- 2.4 All gutters are to be 6-inches wide as measured across the top. ~~Gutters are to be made of painted aluminum with a minimum gauge of .027. Vinyl coated aluminum is permitted. Copper and steel gutters or downspouts are not permitted. Gutters are required to slope one inch for every 20 feet toward the downspout.~~



2.4

- 2.5 All downspouts to be sized appropriately for the area that is being drained and must match the color of existing guttering. Gutters in excess of 35 feet in length are to be sloped down both directions from the middle and have a downspout installed at each end.
- 2.6 Termination of a downspout shall not allow water flowing out of a downspout to flow back towards the building. A combination of downspout and splash blocks may be used to achieve positive drainage way from building. Gutters attached to the Mutual owned fascia are required to be attached using ring shank spikes or wood screws. Smooth, striated and spiral spikes are prohibited.
- 2.7 Downspouts that terminate directly into a drain inlet must provide a 1-inch air gap at point of transition. Hidden hangers and spikes are required to be spaced at a minimum of 30 inch.
- 2.8 Gutters and downspouts will be of the same color to match the surface they are attached to. All penetrations must be properly sealed. Exposed wood must be properly primed and painted to match the existing paint of the building.
- 2.9 Alteration aluminum gutters and downspouts are not to be connected to original steel gutters and downspouts. If the alteration gutter system must be connected to an original steel gutter system, the Member is responsible for replacing the original steel gutter system with new aluminum that matches the original style and color. Applications to roofs where hangers penetrate or may harm the roofing in any way will not be allowed. Attachments to buildings with PVC roofs are required to be approved by the Alteration Division prior to installation. Member shall be responsible for all damages to roofs.
- 2.10 Gutters attached to the Mutual owned fascia are required to be attached using hidden hangers and be spaced at a minimum of 30-inches. Smooth striated and spiral spikes are prohibited. Downspouts

are required to be 3" x 4" and are to be located in areas free from obstacles such as electric meters, hose bibs and sidewalks; and in the most inconspicuous location as possible.

The ends of downspouts must drain into a proper drainage system such as a drywell, or onto pavement, or a splash block that routes the water at least five feet downhill from the foundation of the building and onto properly graded soil.

2.11 All penetrations must be properly sealed. Exposed woods must be primed and painted to match the existing paint of the building. Member will be responsible for all damages to roof or fascia. Drywells must be five feet away from buildings, if possible.

2.11.12 Utilize downspouts fittings that facilitate water flow. No sharp angle fittings are allowed.



STANDARD 18: GUTTERS & DOWNSPOUTS

OCTOBER 2010, RESOLUTION 01-10-224

GENERAL REQUIREMENTS REVISED JUNE 2011, RESOLUTION 01-11-104

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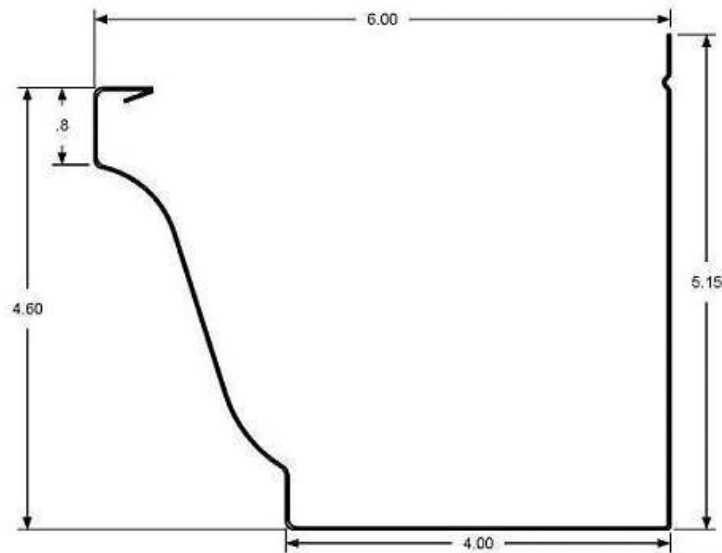
REVISED [DATE], RESOLUTION 01-23-XX

1.0 GENERAL REQUIREMENTS

SEE STANDARD SECTION 1: GENERAL REQUIREMENTS

2.0 APPLICATIONS

- 2.1** Gutters shall be installed per industry standards and slopped towards the downspouts.
- 2.2** Downspouts shall be installed at intervals appropriate for its installation in compliance with The Sheet Metal and Air Conditioning Contractors' National Association (SMACNA). No downspout may be installed that will drain into an area that will affect surface drainage in an adverse way.
- 2.3** Installations to roof systems where hangers penetrate or may harm the roofing material in any way are prohibited.
- 2.4** All gutters are to be 6-inches wide as measured across the top. Gutters are to be made of painted aluminum with a minimum gauge of .027. Vinyl coated aluminum is permitted. Copper and steel gutters or downspouts are not permitted.



- 2.5 All downspouts to be sized appropriately for the area that is being drained and must match the color of existing guttering.
- 2.6 Termination of a downspout shall not allow water flowing out of a downspout to flow back towards the building. A combination of downspout and splash blocks may be used to achieve positive drainage way from building.
- 2.7 Downspouts that terminate directly into a drain inlet must provide a 1-inch air gap at point of transition.
- 2.8 Gutters and downspouts will be of the same color to match the surface they are attached to.
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- 2.12 Utilize downspouts fittings that facilitate water flow. No sharp angle fittings are allowed.

RESOLUTION 01-23-XX
STANDARD 18: GUTTERS AND DOWNSPOUTS

WHEREAS, the Architectural Control and Standards Committee recognizes the need to amend Standards and create new Standards as necessary; and

WHEREAS, the Architectural Control and Standards Committee recognizes the need to revise Alteration Standard 18: Gutters and Downspouts;

NOW THEREFORE BE IT RESOLVED, [DATE], that the Board of Directors of this Corporation hereby adopts Standard 18: Gutters and Downspouts as attached to the official meeting minutes; and

RESOLVED FURTHER, that Resolution 01-19-49 adopted June 11, 2019, is hereby superseded in its entirety and no longer in effect; and

RESOLVED FURTHER; that the officers and agents of this Corporation are hereby authorized on behalf of the Corporation to carry out this resolution as written.

JANUARY INITIAL NOTIFICATION: Should the Board endorse the proposed revisions, Staff recommends that a motion be made and seconded to accept the resolution and allow discussion to ensure that the resolution reads to the satisfaction of the Board. Staff then recommends that a Board Member postpones the resolution to the next available Board Meeting no less than 28-days from the postponement to comply with Civil Code §4360