

OPEN MEETING

REGULAR OPEN MEETING OF THE UNITED LAGUNA WOODS MUTUAL ARCHITECTURAL CONTROL AND STANDARDS COMMITTEE*

Thursday, December 21, 2023 – 9:30 a.m.
Laguna Woods Village Board Room /Virtual Meeting
24351 El Toro Road, Laguna Woods, CA 92637

Laguna Woods Village owners/residents are welcome to participate in all open committee meetings and submit comments or questions regarding virtual meetings using one of two options:

- 1. Join via Zoom by clicking this link: https://us06web.zoom.us/j/91432172027 or by calling 669-900-6833 Webinar ID: 91432172027.
- Via email to meeting@vmsinc.org any time before the meeting is scheduled to begin or during the meeting. Please use the name of the committee in the subject line of the email. Name and unit number must be included.

NOTICE and AGENDA

This Meeting May Be Recorded

- 1. Call to Order
- 2. Acknowledgement of Media
- 3. Approval of Agenda
- 4. Approval of Meeting Report for November 16, 2023
- 5. Chair's Remarks
- 6. Member Comments (Items Not on the Agenda)
- 7. Division Manager Update
- 8. Consent: All matters listed under the Consent Calendar are considered routine and will be enacted by the Committee by one motion. In the event that an item is removed from the Consent Calendar by members of the Committee, such item(s) shall be the subject of further discussion and action by the Committee.
 - a. Monthly Mutual Consent Report
- 9. Variance Requests
 - a. 216-D: Variance to Convert Laundry to Bathroom
- 10. Items for Discussion and Consideration
 - a. Revision to Architectural Standard 18: Gutters & Downspouts

United Architectural Control and Standards Committee Regular Open Meeting December 21, 2023 Page 2 of 2

11. Items for Future Agendas

- a. Revised Resale Inspection Fee
- b. Revision to Architectural Standard 20: Patio and Balcony Covers; Aluminum and Vinyl
- c. Enact Architectural Standard 39: Balcony Enclosures

12. Concluding Business

- a. Committee Member Comments
- b. Date of Next Meeting Thursday, January 18, 2024 at 9:30 a.m.
- c. Adjournment

*A quorum of the United Board or more may also be present at the meeting.

Anthony Liberatore, Chair Alan Grimshaw, Manor Alterations Manager Telephone: 949-597-4616



OPEN MEETING

REPORT OF THE REGULAR OPEN MEETING OF THE UNITED LAGUNA HILLS MUTUAL ARCHITECTURAL CONTROL AND STANDARDS COMMITTEE*

Thursday, November 16, 2023 – 9:30 a.m. Laguna Woods Village Board Room/Virtual Meeting 24351 El Toro Road, Laguna Woods, California

REPORT

MEMBERS PRESENT:

Anthony Liberatore - Chair, Ellen Leonard, Sue

Quam

STAFF PRESENT:

Bart Mejia – Maintenance & Construction, Ian Barnette – Maintenance & Construction Assistant Director, Alan Grimshaw – Manor Alterations

Manager, Gavin Fogg – Manor Alterations Supervisor, David Rudge – Manor Alterations Inspector II, Josh

Monroy - Manor Alterations Coordinator

1. Call Meeting to Order

Chair Liberatore called the meeting to order at 9:32 a.m.

2. Acknowledgement of Media

The meeting was being broadcast on Granicus and Zoom. No media was present.

3. Approval of the Agenda

Hearing no objection, the agenda was approved by consent.

4. Approval of the Meeting Report for August 17, 2023

Hearing no objection, the meeting report was approved by consent.

United Architectural Control and Standards Committee Report of the Regular Open Meeting November 16, 2023 Page 2 of 3

5. Chair's Remarks

Chair Liberatore reminded residents to stay informed and involved by attending/viewing the ACSC meetings. Chair Liberatore also welcomed the new committee members, Ellen Leonard and Sue Quam.

6. Member Comments - (Items Not on the Agenda)

None.

7. Division Manager Update

Mr. Mejia introduced Alan Grimshaw the new Manor Alterations Manager. Mr. Grimshaw provided background on his education and experience.

8. Consent

Consent: All matters listed under the Consent Calendar are considered routine and will be enacted by the Committee by one motion. In the event that an item is removed from the Consent Calendar by members of the Committee, such item(s) shall be the subject of further discussion and action by the Committee.

Hearing no objection, the Monthly Mutual Consent Calendar was approved unanimously.

a. Mr. Mejia discussed the number of mutual consents issued and completed over a five-month period.

9. Variance Requests

None.

10. Items for Discussion and Consideration

a. Revision to Architectural Standard 6: Air Conditioning Units/Heat Pumps

A motion was made to recommend the United Board approve the standard. Hearing no objection, the motion was approved by unanimous consent.

b. Revision to Architectural Standard 18: Gutters & Downspouts

A motion was made to recommend the United Board approve the standard. Hearing no objection, the motion was approved by unanimous consent.

United Architectural Control and Standards Committee Report of the Regular Open Meeting November 16, 2023 Page 3 of 3

11. Items for Future Agendas

- a. Revised Resale Inspection Fee
- b. Revision to Architectural Standard 20: Patio and Balcony Covers; Aluminum

12. Committee Member Comments

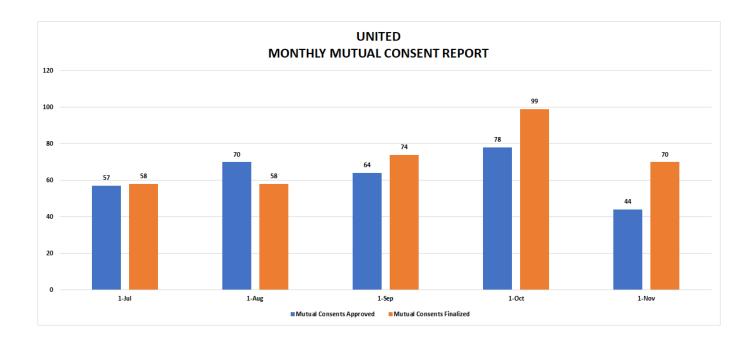
- Director Quam suggested considering modern materials when reviewing Standard 20.
- Director Leonard commented on the trend contained in the mutual consent report, an increase in renovations vs. resales.
- 13. Date of Next Meeting: December 21, 2023 at 9:30 a.m.

14. Adjournment

The meeting was adjourned at 10:13 a.m.

Anthony Liberatore, Chair Baltazar Mejia, Staff Officer Telephone: 949-597-4616





United ACSC – Monday December 21, 2023 Variance Requests

Agenda Item #9	Manor Address	Description of Request	Summary of Request and Staff Recommendation (*)
A	216-D	Convert Laundry to Bathroom with new window, and center Living Room and Bedroom windows	 GENERAL NOTES: 216-D is one of a four-unit Manor. Variance is to convert Laundry to Bathroom with new window, and center Living Room and Bedroom windows All exterior finishes to match existing Staff Recommendation: Approve



ATTACHMENT 1 APPLICATION FORM

MANOR # 2	16-D
EXTUINAM	ПТІНМ

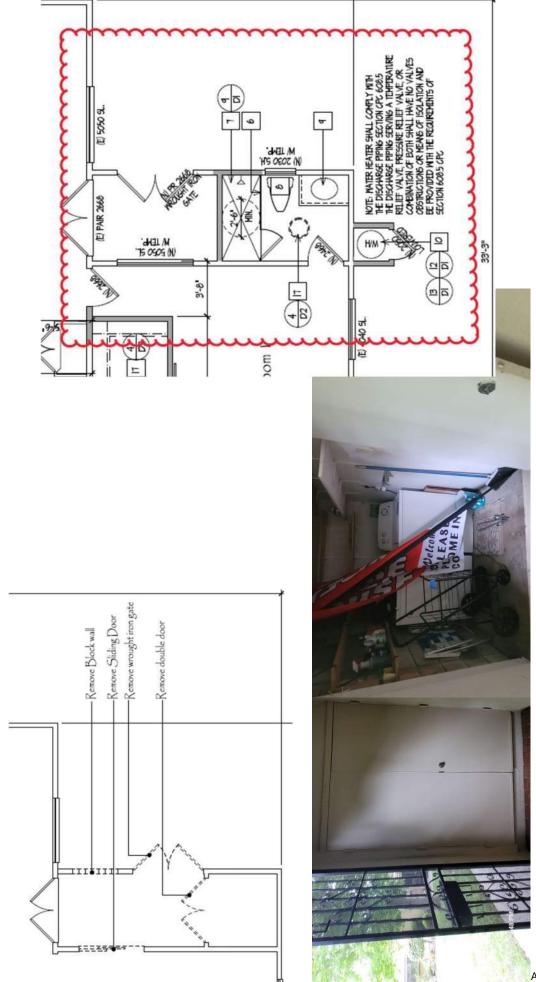
Variar	nce Request Form	SA						
Model: MADRIN Plan:		Date: 10/23/23						
Lucius Construction / Ratrice Gin		E-mail: Office gmail. Com						
Description of Proposed Variance Requ								
new bathroom 5.5' x	undry Closet 5.5	'x5' into a						
new bathroom 5.5' x	8.5°							
Dimensions of Proposed Variance Alter	ations ONLY:							
The New Bethroom	dimension = 5.5	1 x P.5'						
F	OR OFFICE USE ONLY							
RECEIVED BY:DATE REC	CEIVED: Checks	# BY:						
Alteration Variance Request	Complete Submittal C							
	Meetings Scheduled:	di on bate.						
Check Items Received: • Drawing of Existing Floor Plan	Third AC&S Committee (TACSC):							
Drawing of Proposed Variance								
□ Dimensions of Proposed Variance □ Before and After Pictures	Board Meeting:							
Other:		pproved						

□Tabled

Other_

Agenda Item #9a Page 1 of 23 ATTACHMENT 2 PHOTOS

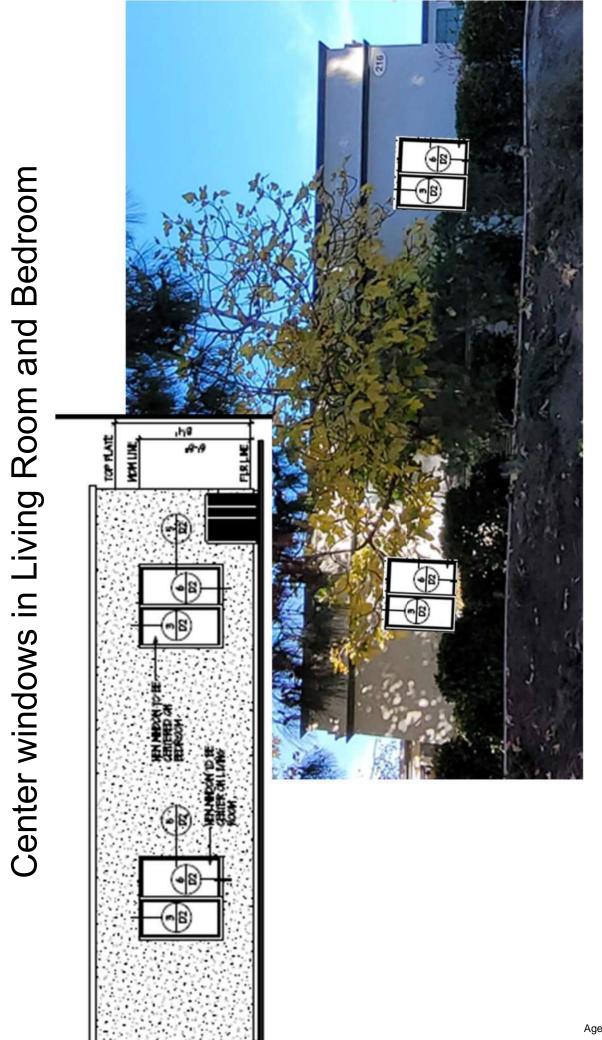
216-D Convert Laundry to Bathroom



Agenda Item #9a Page 2 of 23

Move Entry Gate to right with new Bathroom Window





ATTACHMENT 3
AERIAL & LOCATION MAP

216-D Avenida Majorca



LAGUNA WOODS, 516-D AVENIDA MAJORCA

PHONE: 562,965,4771

12885 2NEHNK EDGYK ESBYKSY ngisəb

AJOR 0 216-D AVENIDA N LAGUNA WOODS,

PROJEC

PLAN AND ATTACHMENT FLOOR NOTES PLAN,

PLUMBING PLAN & MECHANICAL PLAN ROOF PLAN, ELEVATIONS & SECTIONS DETAILS DETAILS & PROPOSE FLOOR PLAN

INDEX COVER

SHEET CO

A4 A3 D1 D2

VICINITY MAP STRUCTURAL GENERAL NOTES FRAMING & FOUNDATION PLAN STRUCTURAL DETAILS CALgreen SHEETS CALgreen SHEETS \$0 \$1 \$D1 SHELF AND POLE PROPERTY LINE REFRIGERATOR RE-SAWN REVERSE SIMILAR SINGLE HUNG SECTIONAL SECURITY SHELVES RIDGE ROOM

ABBREVIATIONS

UNLESS NOTED OTHERWISE VOLUME WALK IN CLOSET WATER HEATER VAPOR PROOF SLIDING SOLID CORE TEMPERED TYPICAL SQUARE VALLEY TREAD

WEATHER PROOF WINDOW GROUND FAULT INTERRUPT GARAGE GARAGE DOOR OPENER GARBAGE DISPOSAL MEDICINE CABINET NOT TO SCALE ON CENTER OPENING HOLLOW CORE GALVANIZED LAMINATED LAVATIORY LAUNDRY MINIMUM GYPSUM HEADER PANTRY FRENCH MASTER OPTION OVER HEIGHT GLASS GRADE PLATE PAIR

PLYWOOD PHOTO CONTROL POWDER PLT. PLYWD. LAS. LAS. S. GL. GRD. G.F.I.

WROUGHT IRON FORCED AIR UNIT 6.00.0 6.00.0 6.00.0 FLOOR FLOOR JOIST FLOOR MATERIAL CHANGE FLUORESCENT ABOVE AIR CONDITIONER DOUBLE GLAZED FINISH FLOOR CENTER LINE DISHWASHER FIXED GLASS DOWNSPOUT ELEVATION EQUAL ALTERNATE CABINET CASEMENT CLEAR CONCRETE DIAMETER EXHAUST EXTERIOR CERAMIC CEILING DETAILS BELOW BOARD FINISH EACH BEAM DOOR

sq ft sq ft

54 1424

TAKEN TO FACE OF STUDS

FOR ARC

EDITION

2022

EDITION

2022

CALIFORNIA RESIDENTIAL CODE

FIRE CODE:

CALIFORNIA

CALIFORNIA

0

RESIDENT TO BE NON-SPRINKLER
MAIN FLOOR
YEAR BUILT IS 1965
NUMBER OF STORIES= 1 FLOOR (MAIN FLOOR)
CALIFORNIA LICENSED MECHANICAL CONTRACTOR
PROVIDE C-20 LICENSE

0

CALIFORNIA LICENSED PLUMBING CONTRACTOR PROVIDE C-36 LICENSE

82 sq ft

(E) BASE FLOOR 1
PROPOSE PATIO
ENCLOSURE
PROPOSE BATHROOM
ADDITION
1

EDITION

2022

EDITION

2022

CODE

MECHANICAL

CALIFORNIA

CALIFORNIA

CONSTRUCTION TYPE

TYPE

OCCUPANCY

PLUMBING CODE:

CODE

ELECTRIC

CALIFORNIA

ENERGY CODE

EDITION

2022

EDITION

2022

EDITION

2022

1288 sq

FOOTAGE

UARE

SQI

R-2/U

PROJECT DATA

CITY NOTES CA 92637 216=D AVENIDA MAJORCA (CONSTRUCTION SITE) LAGUNA MOODS,

CONSULTANTS

DESIGNER

EDGAR ESPARZA 15882 SULPHUR SPRING RD MORENO VALLEY, CA 92555 CELL: 562.965.4771

OR ACTIVE IS NOT PULLED 180 DAYS TED WITHIN EVERY INSPECTIONS ARE REQUIRED PERMIT WILL EXPIRE. YEAR C YEAR C LESS AN BY THE ALL ACTIVE PL WITHIN ONE YE SAFETY UNLES APPROVED BY

ISSUANCE DEPARTMENT. PROVIDE ASSESSMENT PRIOR TO PERMIT IS REQUIRED, A COPY OF THE S WOODS THE ASBESTOS COPY OF THE EXPOSURE AND IF ASBESTOS WORK NOTIFICATION RELATED 1 CITY

ANY WORK REQUIRING MORE THAN \$500.00 WORTH OF MATERIAL And Labor Costs Shall be Performed by a California Licensed Contractor for Each Trade as Required

BE RECYCLED **THAT** 65% MATERIAL REMOVED WILL MINIMOM

APPLICAB THE IMPLEMENTATION OF THESE PLANS REQUIRE A CONTRACTOR AND SUBCONTRACTOR THOROUGHLY KNOWLEDGEABLE WITH THE APPLICAL BUILDING CODES AND METHODS OF CONSTRUCTION SPECIFIC TO THIS NOTES

/ OR LE

Ш IN CONTRADICTION, OF WORK OR IN BE UNRESOLVED OR TO COMMENCEMENT WHEN AN AREA IS FOUND TO SHALL BE CONTACTED PRIOR

TYPE AND TYPE OF CONSTRUCTION.

PRODUCT

SYMBOLS

DESIGN

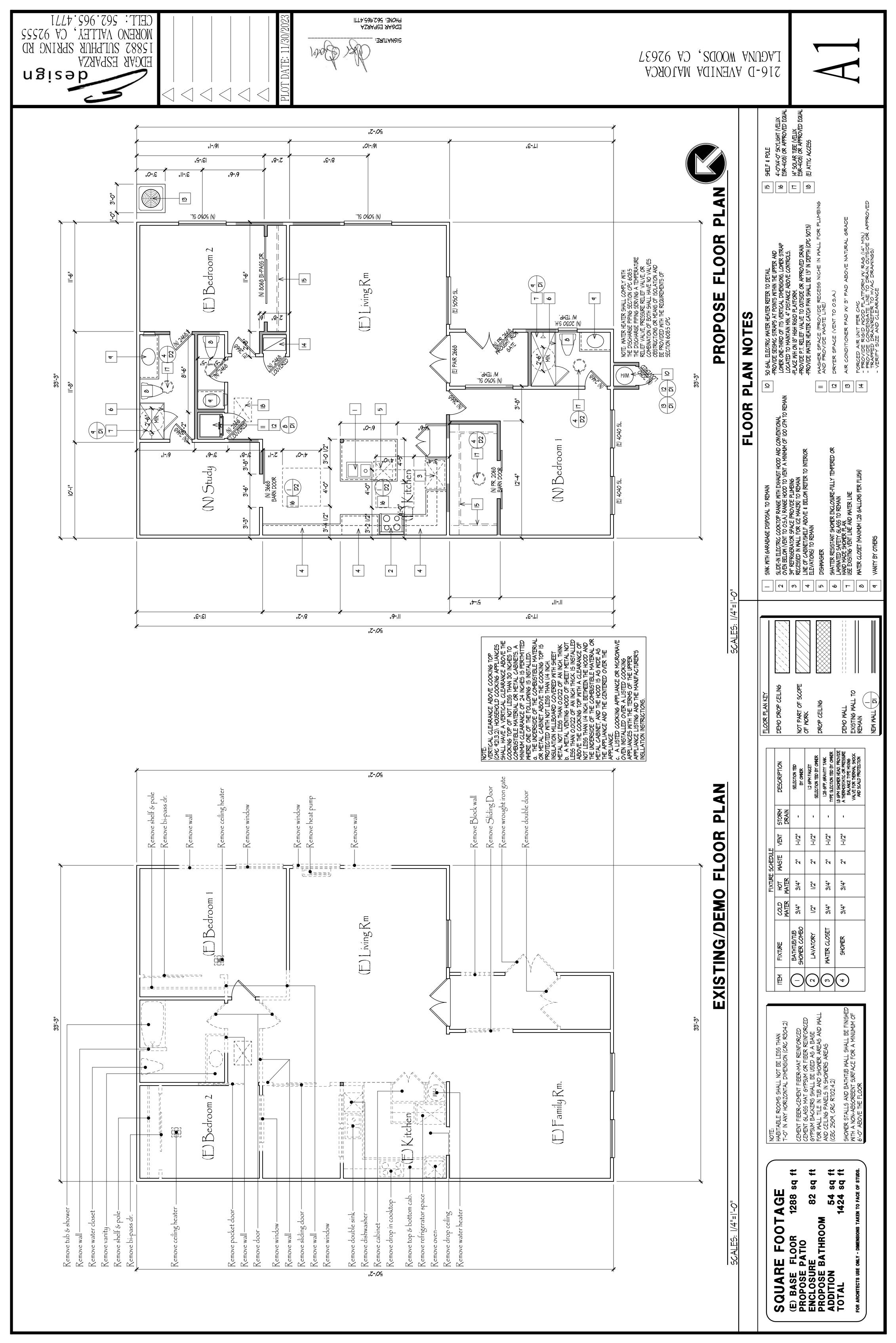
3 KEYNOTE NUMBER KEYNOTE REFERENCE REVISION DELTA 2 BUILDING SECTION REFERENCE SECTION NUMBER

SHEET NUMBER DETAIL NUMBER SHEET NUMBER DETAIL REFERENCE $\left(\mathbf{4}\left| \mathbf{\overline{Q}}\right) \right|$

REVISION NUMBER

SCOPE OF WORK

HALF BATH OTHER FULL KITCHEN REMODEL, REMOVE ATRIUM, SPLIT BATHROOM TO A FULL BATH AND A DD A WALK-IN CLOSET AT BEDROOM 1 ADD A FULL BATH AT BEDROOM 1 RELOCATE TWO WINDOWS TO BE CENTER ON LIVING ROOM AND BEDROOM ADD STACKED WASHER & DRYER ADD 4X4 SKYLIGHT ONE AT KITCHEN AND THE AT DINING ADD SOLAR TUBE AT NEW BATHROOMS AND POWDER ROOM ADD A SOLAR TUBE AT WALK-IN CLOSET



8 8 8

8 3

516-D AVENIDA MAJORCA

NOT PART OF SCOPE OF WORK DEMO DROP CEILING EXISTING WALL TO REMAIN FLOOR PLAN KEY DEMO WALL NEW WALL (9. BEFORE STARTING ANY WORK, THE ELECTRICAL CONTRACTOR SHALL EXAMINE THE COMPLETE SET OF DRAWINGS FOR ALL TRADES, INCLUDING ARCHITECTURAL, HEATING VENTLATING-AIR CONDITIONING AND PLUMBING. VERIFY ALL DIMENGIONG SPACE REQUIREMENTS AND POINTS OF CONNECTION TO ALL EQUIPMENT MAKE ANY MINOR ADJASTIMENTS NECESSARY TO AVOID CONFLICT WITH THE BUILDING STRUCTURE AND THE WORK OF OTHER TRADES.

10. UPDATE PANEL CARDS INDICATING CIRCUITS SPECIFIC FUNTON/LOCATION.

11. AS-BUILT DRAWINGS SHALL BE MAINTAINED AND REFLECT THE FOLLOWING.

A ANY DEVIATION FROM THE CIRCUIT NUMBERS ON WORKING DRAWINGS SHALL BE INDICATED ON AS-BUILTS

B. THE ADDITION, DELECTION OR RELOCATION OF OUTLETS AS SHOWN ON WORKING DRAWINGS SHALL BE INDICATED ON "AS-BUILTS"

ALL EXTERIOR RECEPTACLES SHALL BE WEATHER-PROOF TYPE, AND GFCI PROTECTION.

14. ALL WORK SHALL BE DONE IN ACCORDANCE WITH LOCAL 4 STATE CODES.

15. THE ELECTRICAL CONTRACTOR SHALL VERIFY THE EXACT LOCATION, DEPTH AND ADEQUACY OF ALL SERVICES BEFORE STARTING AND SHALL NOTIFY THE SCHERAL CONTRACTOR IN SERVICES BEFORE STARTING AND SHALL NOTIFY THE SCHERAL CONTRACTOR IN THE LOCATION SHOWN OR ARE NOT OF SUFFICIENT SIZE OR DEPTH TO MAKE THIS CONNECTION IN COMPLIANCE WITH THIS PLAN

1288 sq ft OF STUDS. 82 sq ft 54 1424 ISIONS TAKEN TO FACE

ELECTRICAL CONTRACTOR SHALL SUBMIT THE MAIN SWITCHBOARD SHOP DRAWING TO POWER COMPANY REPRESENTATIVE PRIOR TO START OF ANY WORK AND OBTAIN APPROVED DRAWINGS GENERAL CONTRACTOR SHALL SUBMIT SINGLE LINE DIAGRAM, SITE PLAN AND LOAD INFORMATION DRAWINGS TO UTILITY POWER COMPANY TO OBTAIN SERVICE REPORT INDICATING THE AVAILABLE. FAULT CURRENT AND SERVICE ROUTING ALL LIGHT TO BE HIGH EFFICANCY LIGHT BREAKERS INSTALLED IN EXISTING PANELS SHALL MATCH EXISTING HIGHEST AIC RATED CIRCUIT BREAKER IN THAT PANEL BOARD SOIND LIMITS FOR CEILING MOINTED FANS. CEILING MOINTED EXHAUST FANS SHALL HAVE A MINIMIM SOI RATING OF ONE-SONE IF THE FAN IS INSTALLED TO OPERATE CONTINIOUSLY OR THREE (3) SONES IF THE FAN IS TO OPERATE INTERMITTENTLY sq ft sq ft MINIMIM EXHAIST RATES: MINIMIM 100 CPM INTERMITTENT (OR 50 CPM CONTINICUS) EXHAIST I KITCHEN FANS OR HOODS, AS MELL AS A 50 CPM (INTERMITTENT, OR 20 CFM CONTINICUS) EXH FOR BATHROOM FANS. SQUARE FOOTAGE (E) BASE FLOOR 1
PROPOSE PATIO
ENCLOSURE
PROPOSE BATHROOM
ADDITION
TOTAL SETER TO THE ARCHITECTURAL POWER AND TELEPHONE PLAN FOR THE EXACT LOCATION AND MONTHING HEIGHTS AND TYPE OF ALL CULLETS (RECEPTACLES, TELEPHONES, CRTS CLOCKS ETC.)

4. ALL ELECTRICAL WORK, ITEMS, DEIVCES, ETC. SHALL CONFORM TO THE REQUIREMENTS OF THE BASE BUILDING SPECIFICATION.

5. ALL OUTETS SHALL BE INSTALLED AT THE HEIGHTS INDICATES ON THE SYMBOL LIST UNLESS OTHERWISE NOTED ON THE DRAWINGS.

6. EVERY COTLET HEIGHT SHALL BE VERIFIED ON EACH WALL WITH THE ARCHITECT OR INTERIOR DESIGNER TO BRUKE THE PROPER HEIGHT AND LOCATION WITH RESPECT TO CABINET, EQUIPMENT, ETC.

7. ALL WORK, MATERIALS SHOWN ON PLANS SHALL BE NEW UNLESS OTHERWISE INDICATED

8. INLESS INSTRUTED OTHERWISE, THE ELECTRICAL CONTRATOR SHALL OBTAIN AND PAY FOR ALL PERMITS LICENEES, AND THES REQUIRED FOR INSTALLATION OF THE ELECTRICAL WORK, FIRNISH FINAL CERTIFICATE OF INSPECTION OR WRITTEN EVIDENCE OF ACCEPTANCE BY INSPECTION AUTHRITIES FOR ALL WORK INSTALLED

ALL WORK SHALL COMPLY WITH THE STATE OF CALIFORNIA, ITILE 24 AND ALL OTHER GOVERNING CODES AND ORDINANCES. 2022 CEC \$ 2022 CALIFORNIA EMERGY CODE. RETER TO THE ARCHITECTURAL REFLECTED CEILING PLAN FOR THE EXACT TYPE AND LOCATION OF LIGHT FIXTURES.

SYMBOL LIST	FLOOR WALL CLG. DESCRIPTION	IIO VOLT OULET WITH ARG FAULT CIRCUIT INTERRUPTER AFCI AT +12" ABOVE FLOOR UNO	P. IIO VOLT	220 VOLT OUTLET	220 VOLT OUTLET WITH DISCONNECT	-5	S3 THREE MAY SWITCH (SEE NOTE 2a)	§4 FOUR WAY SWITCH (SEE NOTE 2a)	gos. OCCUPANCY SENSOR SWITCH (SEE NOTE 2a)	DUPLEX CONVE		HIGH ETHICACT DROP PENDEN (SITLE DT CLIEN)	RECESSED HIGH EFFICACY LIGHT FIXTURE 2-HR FIRE-RATED JINCTION BOX (CARLON I-GANG BLIE PLAGTING CEILING ELECTRICAL BOX) OR APPROVED EQUAL	CEILING FAN (MOTOR SIZE 188X20) WITH HIGH EFFICACY LIGHTS ONE (1) SWITCH FOR LIGHT	ONE (I) SWITHC FOR FAN	(EXISTING) "MS"	120/220V, I 0, ØW		∀ Ø	ბ—	Z V	Þ	EXISTING AROUND	=	4	(EXISTING)	SINGLE LINE DIAGRAM	ELECTRICAL LOAD CALC.	
16. THESE PLAN INDICATE APPROXIMATE DIMENSION ONLY FOR EQUIPMENT OR FIXTURE EXACT DIMENSIONS MIST BE OBTAINED REAL THE FOILEMENT MANIFACTIORE		STRUCTURAL CONDITIONS PROVIDE ALL NECESSARY OFFSETS AS REQUIRED VERIFY WITH ARCHITECTURAL STRUCTURAL MAYOR EITHE PROVIDE ALL NECESSARY OFFSETS AS REQUIRED VERIFY WITH ARCHITECTURAL	بالل	ETC. TO ASSIRE AN APPROVED ACCEPTABLE ELECTRICAL SYSTEM.	19. SEAL ALL OPENINGS AROUND ELECTRIC CONDUITS AND PIPES (WIRES) PENETRATING THE FIRE RATED FLOOR & WALLS WITH APPROVED FIRE RETARDING MATERIALS	EXPANSIONS LOOPS IN THE PIPING AS	21. ELECTRICAL CONTRACTORS STALL COORDINATE HIS MORN CAREFULLT IV THE PLUDING TINE PROTECTION — AND HVAC CONTRACTORS TO AVOID INTERFERINCES.	22. ALL CONDUITS & WIRES SUSPENDED IN BASEMENT OR CELLING SHALL BE INSTALLED AS HIGH AS POSSIBLE.		5 24. ALL ELECTRICAL EQUIPMENT SHALL BE LISTED BY UL. OR LOCAL GOVERNMENT APPROVED THIRD PARTY	25. NO PITINO, UXCIS OR EQUIPMENT FOREIGN TO ELECTRICAL EQUIPMENT. LOCATED WITHIN THE DEDICATED SPACE ABOVE THE ELECTRICAL EQUIPMENT.	26. TUSED SHALL BE PROVIDED WITH RELECTION TYPE FUSE HOLDERS.	 28. APPLIANCES PROVIDED AND INSTALLED METS ENERGY STAR IF AN ENERGY STAR DESGNATION IS APPLICABLE FOR THAT APPLIANCE AND SUBJECT TO FIELD VERIFICATION.	29. WORKING SPACE: MINIMAM 3' FT. WORKING SPACE SHALL BE PROVIDED AND MAINTAINED FOR ALL ELECTRICAL PANELS AND EQUIPMENT. PER CEC 110.26	GENERAL LIGHTINS FIXTURE COMMENTS	 ALL BALLASTS SHALL BE HPF, C.B.M. E.T.I. CERTIFIED CLASS-P EQUAL TO UNIVERSAL. "ENERGY SAVIER" VLH SERIES OF QUIETEST SOUND RATING AVAILABLE. PROVIDE LON TEMERATIRE BALLASTS FOR QUIDOOR MOUNTED FIXTURES. 	2. CONTRACTOR SHALL BE RESPONSIBLE FOR ORDERING PROPER TYPES OF TRIM FOR ALL RECESSED FLOIRESCENT FIXTURES AND INCANDESCENT FIXTURES TO FIT THE CELLING BEING INSTALLED. FINISH TRIMS OF ALL RECESSED INCANDESCENT FIXTURES SHALL MATCH CELLING FINISH AS DIRECTED BY ARCHITECT.	GENERAL LIGHTING FIXTURE COMMENTS CONT.	3. THE CONTRACTOR SHALL VERIFY THE TYPE OF CEILING BEFORE ORDERING ANY FIXTURES. HE IS FULLY RESPONSIBLE TO PROVIDE ALL MOUNTING BRACKETS FOR ALL CEILING CONDITIONS AT NO EXTRA CHARGE TO THE OWNER.	4. ALL FIXTIRES SHALL BEAR UL. LABEL			 RECESSED FIXINKES IN FIRE KATED CELLING SHALL BE APPROVED FOR THE FIRE KATING TO THE CELLING FIXINRES IN LIMINOUS CELLING OF CELLING CAVITIES OR SOFFITES SHALL BE APPROVED FOR TYPE OF INSTALLATION. 	4. STEM LENGTHS PENDENT FIXTURES SHALL BE ONE PIECE WITHOUT COUPLINES, WITH FINISH TO MATCH CANOPY AND WITH SMIVEL HANGER LEGALLY APPROVED FOR WEIGHT SUPPORTED AND FOR EARTHQUAKE PROTECTION	IC. CUIDOOR FIXINGES AND FIXINGES INSTALLED IN DAMP LOCATION SHALL BE APPROVED FOR MET LOCATIONS II. VERIFY LETTER SIZE AND COLOR OF INTERNALLY ILLUMINATED EXIT SIGN WITH LOCAL AUTHORITIES PRIOR TO SUBMITTAL OF SHOP DRAWINGS.	12. RECESSED FIXTURES SHALL BE PRE-WIRED TO ATTACHED J-BOX IN ACCORDANCE WITH LOCAL CODE REQUIREMENTS. FIXTURES SHALL BE APPROVED FOR MAXIMUM NUMBER OF WIRES GOINS IN AN OUT OF THE	FIXTURES AS SHOWN ON PLANG. ATTACHED L-BOX SHALL BE ACCESSIBLE PER NEC. 13. ALL MERCURY VAPOR OR METAL HALIDE LAMPS, WHICH ARE TO BE INSTALLED IN OPEN REFLECTOR DOWN 11.41T ENTIRES, GUALL BE DEOLINED WITH "GUIT, OFF" DEVICE AS ARRESONED BY THE FOOD AND DRIKE.	LICHI FIXIUMES, SMALL DE FRAVILIEN MINI SMIT-OTT DEVICE NO METRAVELU DI INELIAMO MAY UNDO ADMINISTRATION, LAMPS SHALL DE MANJFACTURED BY NESTING HOUSE "SAFETY LIFE-GUARD" LAMPS OR 6E, "SAFE MERC" LAMPS.	14. PROVIDE FLUORESCENT LIGHT IN KITCHEN AND BATHROOMS AT LEAST 40 LIMENTS PER WATTS AS PER

THE A GASKET OR CAULK BETWEEN THE LUMINAIRE HOUSING AND IAVE ALL AIR LEAK PATHS BETWEEN CONDITIONED AND SPACES SCALED WITH A GASKET OR CAULK SOWITH HARDWIRED BALLASTS OR DRIVERS ALLOW BALLAST WINTENANCE AND REPLACEMENT TO BE READILY ACCESSIBLE COUPANTS FROM BELOW THE CILING WITHOUT REQUIRING THE

at certifies the luminaire is airtight with air leakag! M at 15 pascals when tested in accordance with Chaust fan Housing Shall not be required to be

5. LOCATIONS AND ACCESSIBILITY: CONTRACTOR SHALL FULLY INFORM HINSELF REGARDING PECULIARTITIES
AND LIMITATIONS OF THE SPACES AVAIL ABLE FOR INSTALLATION OF WORK AND MATERIALS FIRNISHED
AND INSTALLED UNDER THIS DIVISION. DRAWINGS INDICATE DESIRED LOCATION AND ARRANGEMENT OF
PIPING, EQUIPMENT, AND OTHER ITEMS. AND ARE TO BE FOLLOWED AS CLOSELY AS POSSIBLE. WORK
SPECIFIED AND NOT CLEARLY DEFINED BY DRAWINGS SHALL BE INSTALLED AND ARRANGED IN A MANNER
SATISFACTORY TO ARCHITECT, THEY SHALL BE MADE BY CONTRACTOR WITHOUT ADDITIONAL CHAGES,
PROVIDED THE CHANGE IS ORDERED BEFORE WORK IS INSTALLED AND NOT EXTRA MATERIAL ARE REQUIRED
6. CLEANUP: AFTER COMPLETION OF WORK UNDER THIS SECTION, CLEAN UP ALL RESULTANT DEBRIS FROM
THIS WORK AND REMOVE FROM THE SITE.

3. TESTING AND ADJISTMENT: UPON COMPLETION OF ALL ELECTRICAL WORK, ELECTRICAL CONTRACTOR SHALL ADJIST AND TEST ALL CIRCUITS, OUTLETS SWITCHES, LIGHTS MOTORS AND ANY OTHER ELECTRICAL ITEMS TO INSINE PERFECT OPERATION OF ALL ELECTRICAL EQUIPMENT. ITEMS, FIXTURES AND PARTS IN NEED OF CORRECTION AND DISCOVER DIRING SUCH TESTRING SHALL BE IMMEDIATELY REPAIRED OR REPLACED WITH ALL NEW EQUIPMENT AND THAT PART OF THE SYSTEM SHALL THEN BE RETESTED. ALL SUCH REPLACEMENT OR REPAIR SHALL BE DONE AT NO ADDITIONAL COST TO THE OWNER.

4. SITE INSPECTION: THE CONTRACTOR SHALL CAREFULLY EXAMINE THE SITE AND EXISTING BUILDINGS, SHALL COMPARE THE DRAWINGS WITH THE EXISTING ELECTRICAL INSTALLATIONS, AND SHALL THOROUGHLY FAMILLIARIZE HIMSELF WITH ALL EXISTING CONDITIONS WITHIN THE SCOPE OF THIS WORK. BY THE ACT OF SUBMITTING A BID, THE CONTRACTOR WILL BE DEEMED TO HAVE MADE SUCH EXAMINATION AND TO HAVE ACCEPTED SUCH CONDITIONS, AND TO HAVE MADE SUCH EXAMINATION AND TO HAVE 23.

CONTRACTOR SHALL PROVIDE TO THE OWER A WRITTEN GJARANITE, IN COMPLIANCE WITH SAINST DEFECTS IN MATERIAL AND WORKWANSHIP FOR ONE (1) YEAR, UPON FINAL ACCEPTANCE

SCOPE: THE WORK OF THIS SECTION INCLUSDES EVERYTHING NECESSARY FOR AND INCIDENTAL TO EXECUTING AND COMPLETING ELECTRICAL WORK, EXCEPT AS OTHERWISE HERE IN AFTER SPECIFICALLY EXCLIDED.

CUTTING AND PATCHING: THE CONTRACTOR SHALL DO ALL CUTTING AND PATCHING OF THE EXISTING CONSTRUCTION WORK WHICH MAY BE REQUIRED FOR THE PROPER INSTALLATION OF THE ELECTRICAL WORK ALL PATCHING SHALL BE OF THE SAME MATERIALS, WORKMANSHIP AND FINISH AS AND SHALL ACCURATELY MATCH ALL SURROUNDING WORK.

DOWNLIGHT LUMINAIRES IN CEILING IN ADDITION TO COMPLYING WITH LUMINAIRES RECESSED INTO CEILING SHALL MEET ALL OF THE

SEALED AND/OR GASKET BETWEEN CEILING AND HOUSING FOR OCCUPAN WITH A HORIZONTAL (FLOOR/CEILING ASSEMBLY) RATED SEPARATION, THRECESSD FIXTURES SHALL BE PROTECTED TO THE RATING OF THE SEPAI (I-HOJR) OR BE LISTED FOR THE REQUIRED POROTECTIO

VED IN SECTION 100.1 FOR ZERO CLEARANCE INGULATION DERWRITTERS LABORATORIES OR OTHER NATIONALLY

₽<u>₹</u>С

<u>2</u> 2

WRINS AND CONNECTIONS OF EQUIPMENT BY OTHERS: FURNISH AND INSTALL WIRING FOR POWER REQUIREMENT AS SHOWN ON DRAWINGS, COORDINATE WITH OTHER TRADES ON DETAILS OF INSTALLATION. THE TERM "WIRING" AS USED HEREIN, INCLUDES FURNISHING AND INSTALLING CONDUIT, WIRE, JUNCTION BOXES, DISCONNECTS AND MAKING CONNECTIONS, CHECK LIGHTING CONSULTANT AND SPECIFICATIONS FOR EQUIPMENT TO BE INSTALLED BY OTHERS. ELECTRICAL DRAWINGS INDICATE IN GENERAL THE INTENT AND SCOPE OF SYSTEMS. CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER WIRING AND NECESSARY ELECTRICAL ADJISTMENTS TO EQUIPMENT TO CONFORM TO SPECIFIED REQUIREMENTS OF THE EQUIPMENT

DRAWINGS AND SPECIFICATIONS. ELECTRICAL DRAWINGS ARE DIAGRAMMATIC IN SOME RESPECTS, SIZES

AND LOCATION OF EQUIPMENT AND WIRING ARE SHOWN TO SCALE WHERE POSSIBLE, BUT MAY BE DISTORTED.

FOR CLARITY ON THE DRAWINGS. FINAL LOCATIONS OF CULLETS AND EQUIPMENT SHALL BE AS SHOWN IN ENLARGED DETAILS OR AS APPROVED BY THE LIGHTING CONSULTANT. IT IS NOT WITHIN THE SCOPE OF DRAWINGS TO SHOW ALL NECESSARY BENDS, OFFSETS, PULLBOXES AND OBSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL HIS WORK TO CONFORM TO THE STRUCTURE, PRESERVE HEADROOM AND KEEP OPENINGS AND PASSAGEWAYS CLEAR.

	ADMINISTRATION. LAMPS SHALL BE MANIFACTIRED BY WESTING HOUSE "SAFETY LITE-GUARD" LAMPS		
_	OR GE. "SATE MIRC" LAMPS.	ELECTRICAL LOAD CALC.	<u>ن</u>
	 PROVIDE FLUCRESCENT LIGHT IN KITCHEN AND BATHROOMS AT LEAST 40 LIMENTS PER WATTS AS PER TITLE 24 MANDATORY MEASIRES 	MILTIPLY THE TOTAL RESIDENCE SOUARE FOOTAGE BY 3	4,272
	IS ALL HEATTING FIXTIRES ARE TO BE CERTIFIED BY CALIFORNIA ENTRESY COMMISSION	KITCHEN SMALL APPLIANCE CIRCUITS +	3,000
	TOTAL A LANGUAGE MATERIAL MATERIAL MATERIAL AND A CONTRACT OF THE CONTRACT OF	LAUNDRY 20 amp APPLIANCE CIRCUIT ENTER 1500 +	1,500
-	ELECTRICAL / DUCTINO NOTES PROVIDE ARCHALL PROTECTION IN COMPLIANCE WITH CEC. 210-12 IN ALL 120-VOLT GINGLE PHAGE	WATER HEATER (MIN 4500 WATTS)	4,500
	IS-OR 20-AMPRE BRANCH CIRCUITS THAT SYPPLY OUTETS OR DEVICES INSTALLED IN DWELLING UNIT	DISH WASHER +	2,200
	ES DENS, BEDROOMS, SUNROOMS	MICROWAVE +	1,500
	ALCACATION ROOFS, CLOSE 13, Institute 13, LAMBOR ARCAS, ON SIMILAN ROOFS ON ARCAS	PISPOSAL +	1,200
	PROVIDE LISTED TAMPER-KESISTANI OK LOCKINS TIPE OF KECIFTACLE OUTLETS THAT SERVICES 120 VOLT 15-AND 20-AMPERE CIRCUITS IN ALL SPECIFIED IN CEC 21052	WASHER DRYER (MIN. 5000 WATTS)	2,000
		OVENS +	
	MINIMUM EXHAJST KATES: MINIMUM 100 CFM INTERMITTENT (OR 50 CFM CONTINOUS) EXHAJST RATE FOR KITCHEN FANS OR 40005 AS WELL AS A 50 CFM (INTERMITTENT OR 20 CFM CONTINOUS) EXHAIST RATE	RANGE +	8,800
		ADDITIONAL APPLIANCES OR CIRCUITS NOT CONSIDERED +	
	SOUND LIMITS FOR CEILING MOINTED FANS. CEILING MOINTED EXHAIST FANS SHALL HAVE A MINIMIM SOUND CONSTANT LOAD	CONSTANT LOAD	0
	DATING OF ONE CONFICON IN INCIAL FOUND TO CORPORE CONTINUED (1) CONFIC IF THE	T	

17. MINIMA WIRE SIZE SHALL BE #12 ANDS. NATION CONSTRUCTION DRAWINGS FROM THE RESPECTIVE
UTILITY NOTES:
1. ELECTRICAL CONTRACTOR MIST OBTAIN APPROVED CONSTRUCTION DRAWINGS FROM THE RESPECTIVE
UTILITY COMPANIES AND INCLUDE ALL MATERIAL AND WORK AS INDICATED THEREON IN THIS BID
PRICE. IF UTILITY DRAWINGS ARE NOT AVAILABLE WEN BIDS ARE SUBMITTED. SO INDICATE AND
ADVISE ELECTRICAL ENGINEER ACCORDINGLEY.

2. ELECTRICAL CONTRACTOR SHALL VERIFY EXACT LOCATION OF UTILITY PANELS, CONDUITS AND XFMR
WITH RESPECTIVE UTILITY COMPANIES PRIOR TO START OF ANY SITE WORK
WITH RESPECTIVE UTILITY COMPANIES PRIOR TO START OF ANY SITE WORK

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3. ELECTRICAL CONTRACTOR SHALL SUBMIT THE MAIN SWITCHBOARD SHOP DRAWING TO POWER COMPANY REPRESENTATIVE PRIOR TO STAR OF ANY WORK AND OBTAIN APPROVED DRAWINGS 4. GENERAL CONTRACTOR SHALL SUBMIT SINGLE LINE DIAGRAM, SITE PLAN AND LOAD INFORMATION DRAWINGS TO UTILITY POWER COMPANY TO OBTAIN SERVICE REPORT INDICATING THE AVAILABLE

GENERAL PLAN NOTES

ALL INTERIOR DOORS TO BE HOLLOW CORE I 3/8" TIFK JINO. (REFER TO PLAN FOR SIZE) EXISTING ENTRY DOOR TO BE SOLID CORE I 3/4" THICK.

12. CONDUIT SHALL BE STANDARD STEEL RIGID, INC. OR EMT (THIN WALL) ACCORDING TO CEC. CODE. AND LANDLORD REGUIREMENTS. CONDUIT SHALL BE. CONCEALED IN FINISHED AREAS EXCEPT AS OTHERWISE APPROVED BY ARCHITECT. EMT. CONNECTIONS SHALL BE. COMPRESSION OR SET SCREW TYPE. LIQUID TIGHT IN TEXBLE METAL. CONDUIT SHALL BE USED FOR MOTOR CONNECTIONS AND COMPLY WITH ARTICLE 350 PVC. CONDUIT SHALL BE USED ONLY FOR UNDERGROUND CONDUIT. FLEXIBLE METAL. CONDUIT SHALL BE INSTALLED PER ARTICLE 348. MC. CABLE SHALL BE SUITABLE FOR INSALLATION IN CONCEALED AREAS SUCH AS ABOVE CEILINGS AND INSIDE WALL. CONSTRUCTION AND COMPLY WITH ARTICLE 330. MINIMIM CONDUIT SIZE SHALL BE 1/2*

OMILET BOXES. OMILET BOXES SHALL BE ONE PIECE PRESS SITEL BOC. "45" MINIMIM SIZE OR LARGER. AS REQUIRED PER CODE.

SHOP DRAWINGS: WITHIN FOURTEEN (14) DAYS AFTER RECEIPTS OF CONTRACT, SUBMIT TO ARCHITECT SEVEN (1) COMPLETE SETS OF DRAWINGS FOR ALL ELECTRICAL EQUIPMENT AND DEVICES. DO NOT DELIVER THESE ITEMS TO THE JOB SITE UNTIL SHOP DRAWINGS HAVE BENN REVIEWED AND APPROVED BY ARCHITECT AND ELECTRICAL ENGINEER.

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INDERWRITERS' LABELS. SIZE, TYP. AND INSULATION OF WIRE. MANE OF THE MANUFACTIRING COMPANY AND THE TRADE NAME OF THE WIRE. MONTH AND YEAR WHEN MANUFACTIRED WHICH DATE SHALL NOT EXCEED TWO (2) YEARS PRIOR TO THE DATE OF DELINERY TO THE SITE.

WIRE AND CABLE: ALL CONDUCTORS SHALL BE DELIVERED TO THE SITE IN THEIR ORIGINAL UNDROKEN PACHAGES, PLAINLY MARKED OR TAGGED AS FOLLOWS.

CONDICTORS FOR SIZES #4 THRU #10 SHALL BE SOLID SOFT DRAWN COPPER, 600 VOLT TYPE THIN/THWN INSULATION EXCEPT AS HEREINAFTER SPACIFIED.

CONDICTORS FOR SIZE #8 AND LARGER SHALL BE STRANDED COPPER WITH 600 VOLT, TYPE THIN/THINN INSULATION.

USH MASHER	, 2,500
MICROWAVE	† 1,500
DISPOSAL	t 1,200
WASHER DRYER (MIN. 5000 WATTS)	÷ 5,000
OVENS	+
RANGE	+ 8,800
ADDITIONAL APPLIANCES OR CIRCUITS NOT CONSIDERED DICONSTANT LOAD	0
	+
	+
SUB TOTAL OF WATTS	31,972
<i>000'0</i> -	+ 10,000
SUB TOTAL	21,972
x 40% x	X 40%
SUB TOTAL	8,789
00001+	+ 10,000

21,28	TOTAL WATTAGES LOAD =
	ITIONAL CONSTANT LOAD APPLIANCES
2,5(EATER OF ALL HEATER OR AC LOADS COMBINED) CENTRAL AIR +
18,78	SUB TOTAL =
10,00	+ 00001+
8,78	SUB TOTAL =
40	X 40% X
21,97	SUB TOTAL =
10,00	+ 000'01-
31,97	SUB TOTAL OF WATTS =
	+

TOTAL WATTAGES LOAD = 21,289		OF ALL HEATER OR AC LOADS COMBINED) CENTRAL AIR +	305 101AL = 10,108
	•	+ 400 - 3204	NED) CENTRAL AIR + + +

ALL BEDROOMS, HALL AND COMMON LIVING OUTLETS TO BE AFCI (ARCH-

NOTE: ALL LIGHT TO BE HIGH EFFICANCY

		-	52		-	×	×	33	145	¥	SH FOR	TABLE		
ı	E 622	ЭМООТН DUCT	8	Œ	SMOOTH DUCT		5	3 2	_	7	画ら	圣		_
ı	ASIR	SMOC	8	局	SMOC	×	35	33	N	7	ALE DU	Por	쭚	5000
ı	5 (FRO)		28	E DICT		4	<u>50</u>	7	N	7	ALLOW	る以来	<u> 1518</u>	SATING
ı			<u>23</u>	MAXIMUM ALLOWABLE DUCT LENGTH (FT)		X	X	20	Æ	N	5 FT. OF	ATION A	馬图	2R FAN S
ı	INS REG	DICT	<u>8</u>	XIMIM A	DICT	X	X	35	125	Æ	DECNT	MERPO.	 8	CABIFF
ı	DICT 512	FLEX DUCT	8	₹	FLEX DUCT	X	3	10	7	F	EBONE		2 FAN R	T APPL
ı	RIPTINE		33			X	70	R	M	R	WES NO	BOMOR	3 5	A E IS W
	TABLE 1.1 PRESCRIPTIVE DICT SIZING REQUIREMENTS (PROM ASHRAE 622)	DUCT TYPE	FAN RATING (CFM AT 0.28 IN MG)		DIAMETER (IN)	3	4	5	9	1 AND ABOVE	THIS TABLE ASSUMES NO ELBOMS DECUT IS FT. OF ALLOWABLE DUCT LENGHT FOR	EACH TURN ELEBOM OR FITTING INTERPOLATION AND EXTRAPOLATION IN TABLE	11. IS NOT ALLOWED. FOR FAN RATING VALUES NOT LISTED, USE THE NEXT HIGHER	VALUE THIS TABLE IS NOT APPLICABLE FOR FAN RATING 125 CFM

4 10 3 X X X 105 35 X X X 105 35 5 X E B B B B B B B B B B B B B B B B B B			6 8 5	N. I45 CLOTHES	N. N. DIAMETER	AKT LENGHT FOR COMBINER	HENEX HEREX	* DEDUCTED	SEC N				ROOMS A	o to the outside and Receptar	USLY, THE FANS ARE TO IS MORE .	<u> </u>
10 3 X X 105 10 3 X X 105 11 10 35 20 N 12 6 N N 125 45 N 13 14 14 15 16 16 16 14 15 16 16 16 16 16 15 16 16 16 16 16 16 16 16	l	Ж	恶	2		SHET.	\$ #	135		\$\frac{1}{2}	<u>8</u>	Š		즲	올	
4 TO 3 X X X X 5 5 5 20 6 NL TO 35 20 20 10 NL TO 35 20 30 10 NL TO 35 10 NL TO 3	١	<u>B</u>	7	7	2	ALOW 1		RATING		등등	(03) 	<u>§</u>		松	3	
A 10 3 X 5 NL 10 35 6 NL 10 35 6 NL 10 35 6 NL 10 35 7 AD ABOVE NL NL 10 THIS TABLE AGANES NO ELBONG DECUT I SECH TURN ELEGON OR FITTING INTERPORT I I S NOT ALLONED. FOR FANI RATING VA VALUE. THIS TABLE IS NOT ARPLICABLE FINE S. AND ALLONED. ANY LENGTH OF THIS S. AND ALLONED. ANY LENGTH OF THIS S. AND ALLONED. ANY LENGTH OF PRESSUL INTING WILL EXCEPT THE RATED PRESSUL INTIE. WATER GAUGE (M.G.) IS THE SAME. A SHANINATION - EXHAUST FANIS SHANTH A BACKDRAFT DAMP	{	×	Œ		ᆋ	5 FI. OF		SE FA	旦	引え	# 28 28	の外部		当出	ZERAII	民
A 10 3 N 10 6 N 10 10 E N 1 N 10 TAND ABOVE N 1 N 1 THIS TABLE ASSUNES NO ELBONE EACH TURN ELEGON OR FITTING 1 IL IS NOT ALLONED. FOR FAN RY VALIE. THIS TABLE IS NOT APPLIA N = NO LIMIT ON DUCT LENGTH X = NOT ALLONED, ANY LENGTH FITTING WILL EXCEED THE RATED FORTIL WATER GAUSE (MG.) IS THE FRMINATION - EXHAUST FA THE FANS ARE INSTALLED	<	×	3	125		DECUT	NER 52.	SABER	产売の	OF DICT	18 25	SAME		多多	5	. DAMF
TAND ABOVE IN TAND ABOVE IN TAND ABOVE IN TAND ABOVE IN TAND TAND TAND TAND TAND TAND TAND TAN	<	3	10	N	Z	E BOKE		7 APPL	ENSEE C	配置	ERATED	6,51		STFA	音問	DRAFI
THE FANS AFF	<	5	N	N	Z	SAES KS		BE IS K	N DUCT I	Ð,À	晉世	ALCE (X		松	₩ 135	A
	3	4	5	9	1 AND ABOVE	THIS TABLE AS	THE NOT ALLO	VALIE THS TA	NL = NO LIMIT C	X = NOT ALLON		NOTE: WATER 6		FRMINATION -	THE FANS AS	PPED WITH A

GROUP R OCCUPANCIES WITH SMOKE ALARM SYSTEMS, HARD-WIRED SMOKE DETECTORS WITH A BATTERY BACK UP SHALL BE PROVIDED IN THE FOLLOWING AREAS OUTSIDE OF ALL SLEEPING AREAS IN EACH ROOM USED FOR SLEEPING PURPOSES IN EACH STORY WITHIN A DMELLING UNIT

RANGE & OVEN 8 8 \mathcal{B} 8 ING BED & BATH HEATER WASHER & DRYER *0*772 ≠ AFCI (

AFC □

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<u>2</u> €

PHONE: 562.965.4771

SPRING RD

NOTE: PROVIDE ARC-FAULT CIRCUIT INTERRUPTER PROTECTION FOR ALL OUTLETS, NOT JUST RECEPTACLES, FOR THE ENTIRE DWELLING UNIT

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EDCYK ESBYKSY

SIGNATURE:

ALLED IN EXISTING PANELS SHALL AIC RATED CIRCUIT BREAKER

PLAN

UTILITY

Agenda Item #9a Page 8 of 23

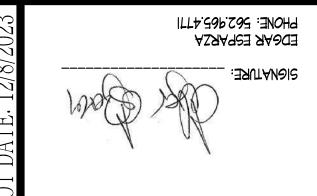


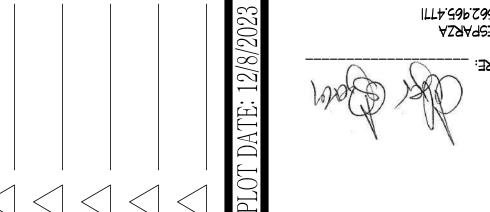
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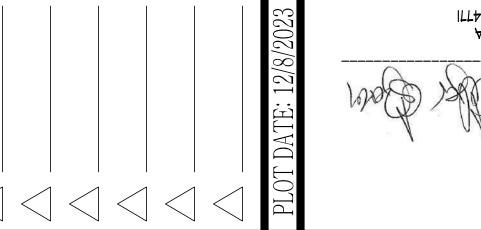
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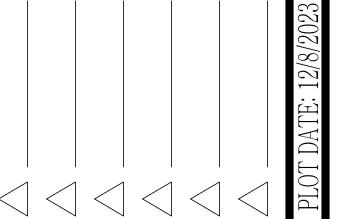
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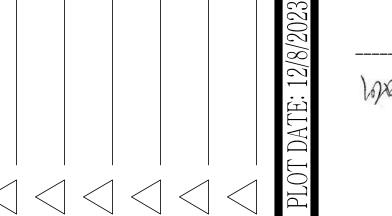
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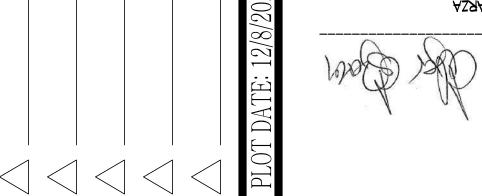


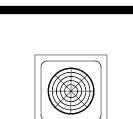












SPRING RD

2" PVC VENT THRU ROOF REFER TO DETAIL A/XX 2" PVC MASTE LINE FROM BUILDING

-ATTACH TO EXISTING PVC 4" WASTE LINE

SCALE: 1/4"=1'-0"

FLOOR PLUMBING ISOMETRIC

-1/2" TYPE K COPPER TUBING OR APPROVED EQUAL JOINTS TO BE LEAD FREE SOLDER

1/2" COLD MATER TO FIXTURE

1/2" COLD WATER TO FIXTURE

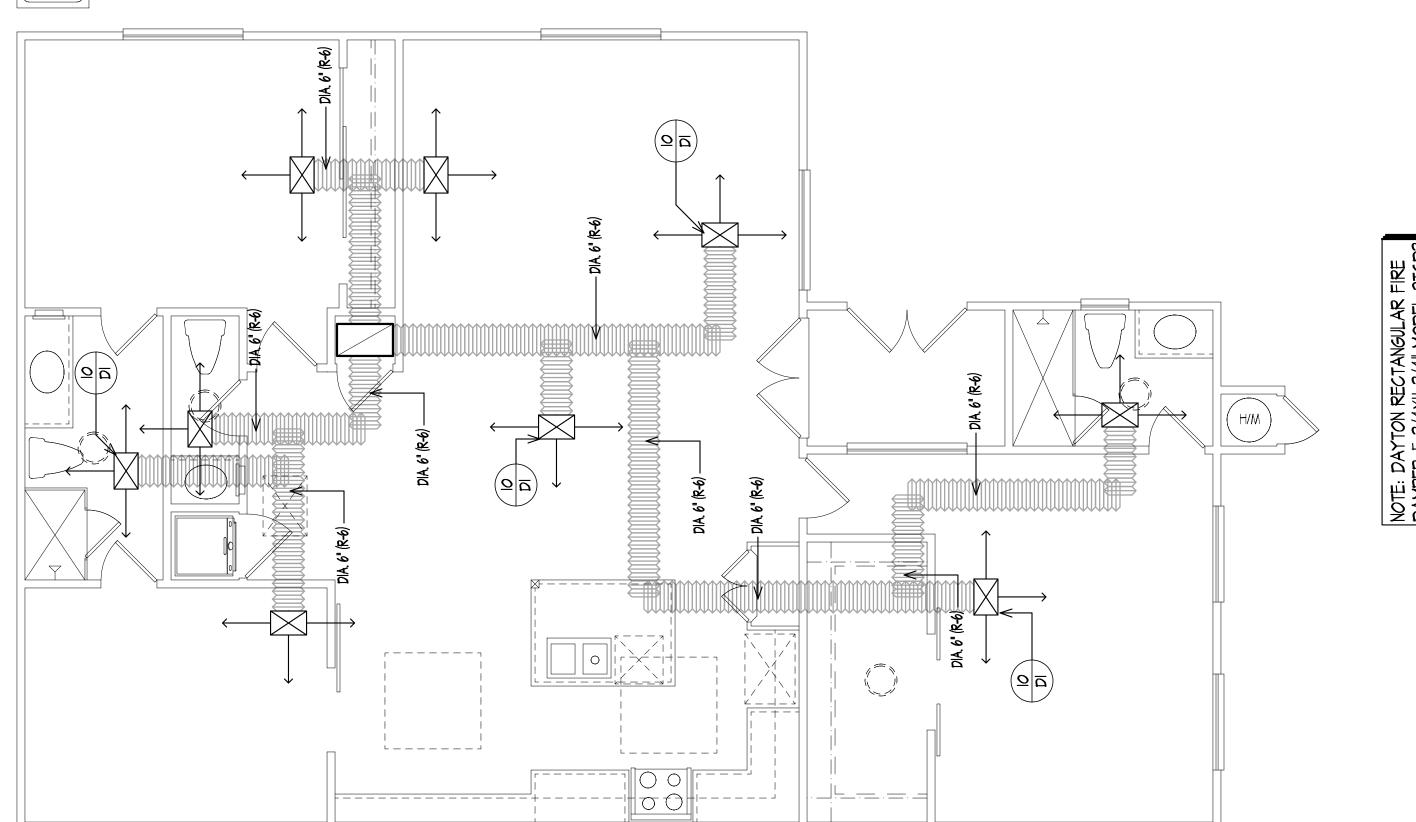
— I/2" COLD AND HOT WATER TO FIXTURE — ATTACH TO EXISTING COPPER TUE WATER SUPPLY LINE

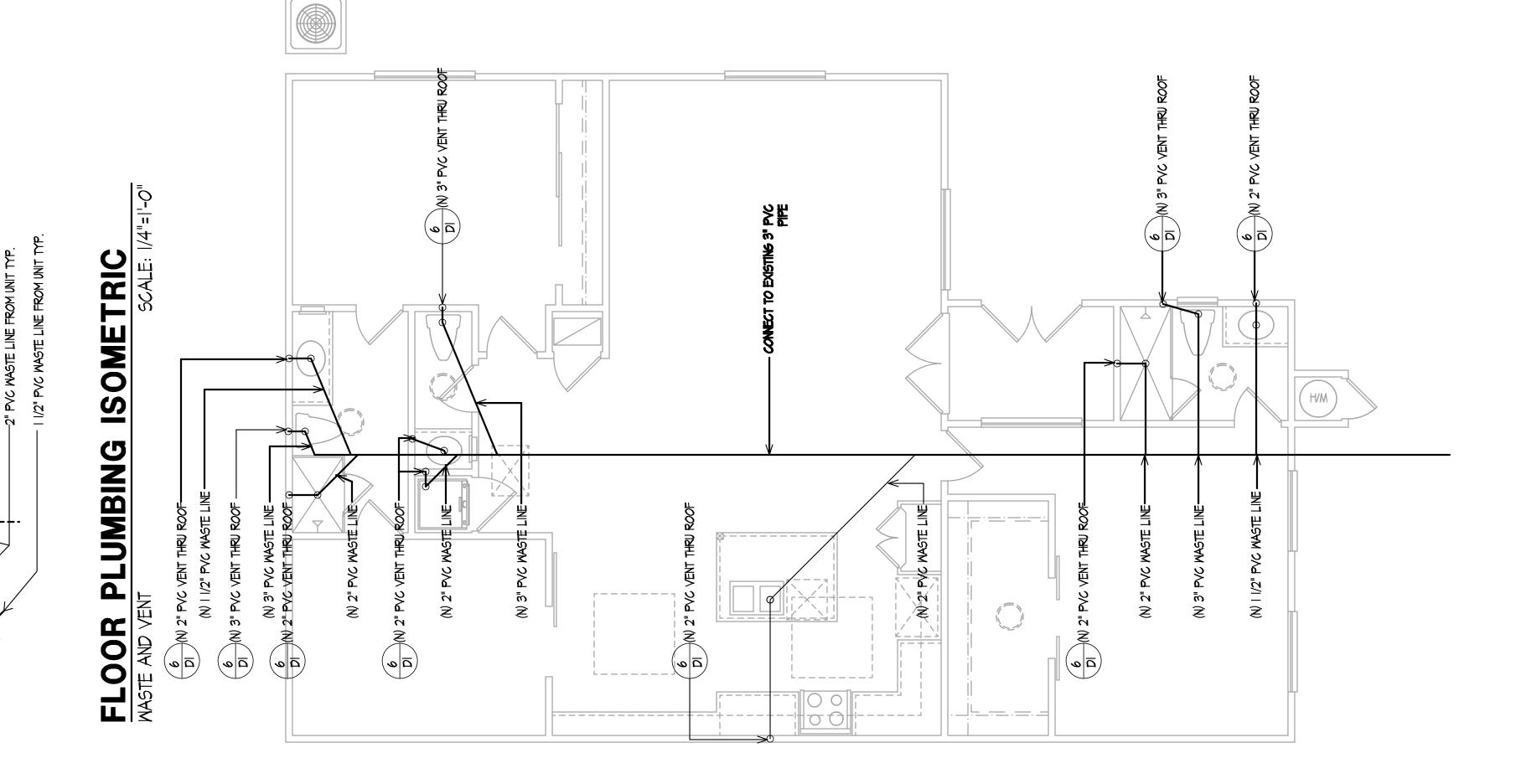
-1/2" COLD AND HOT WATER

1/2" COLD AND HOT MATER

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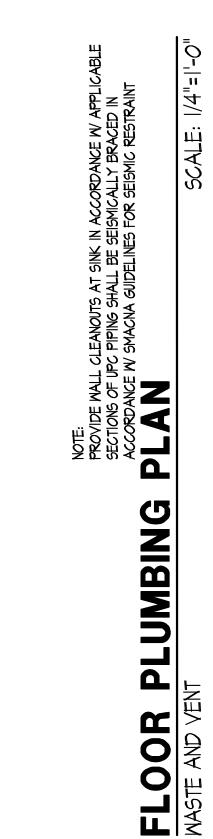
EDGAR ESPARZA





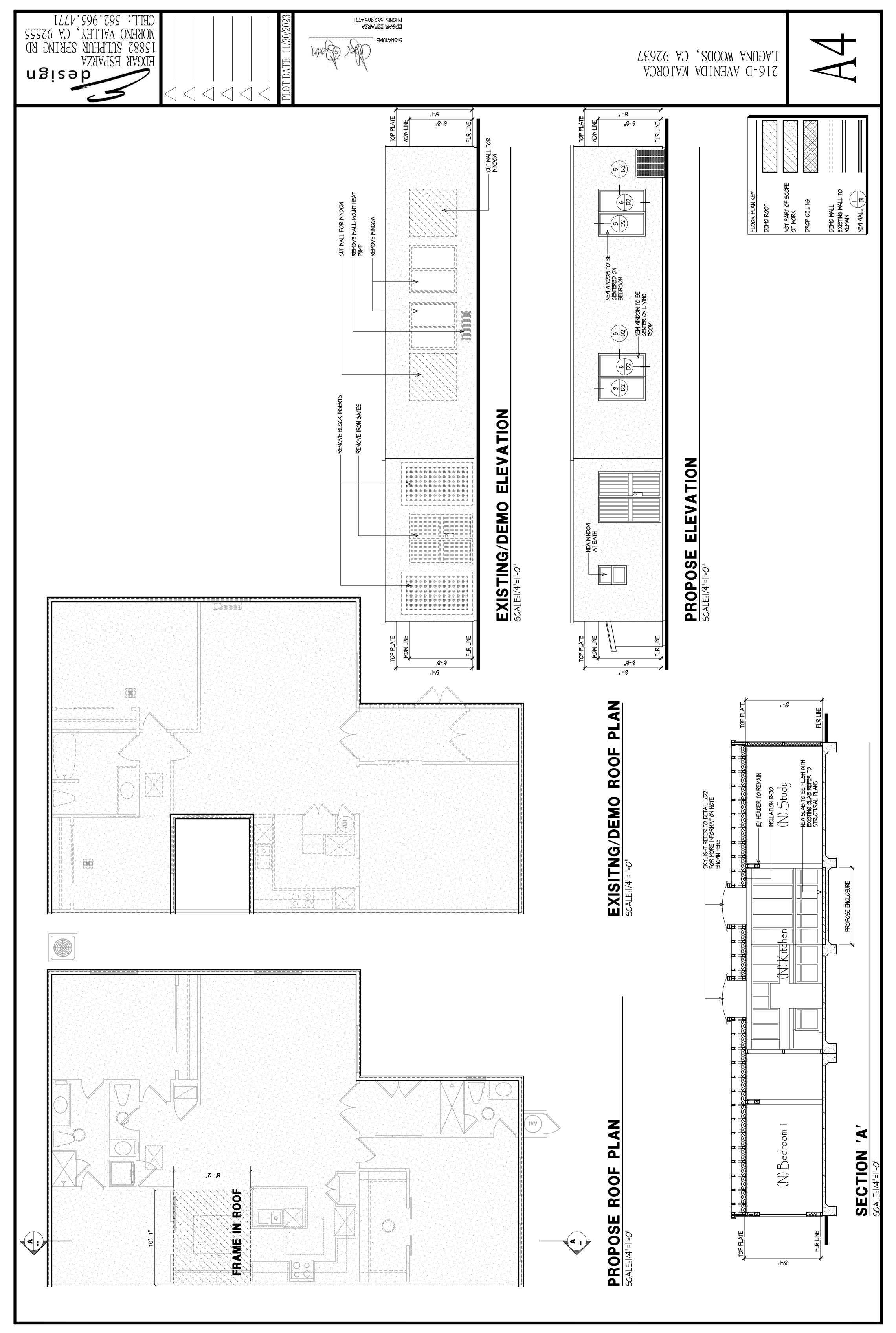
(E) I" TYPE K COPPER TUBING OR APPROVED EQUAL JOINTS TO BE LEAD FREE SOLDER ATTACH TO EXISTING COPPER TUBING MATER SUPPLY LINE

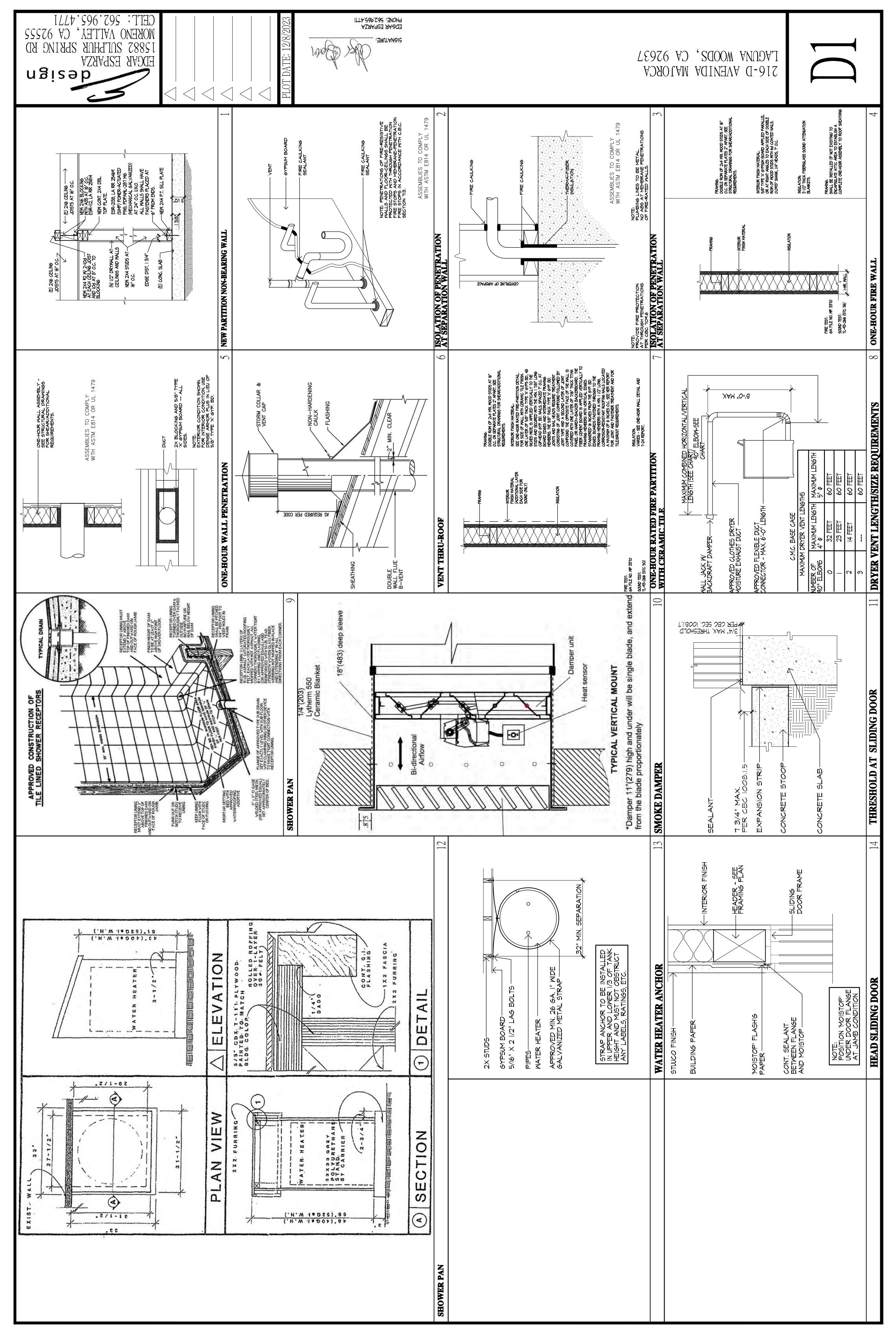
1/2" COLD AND HOT WATER

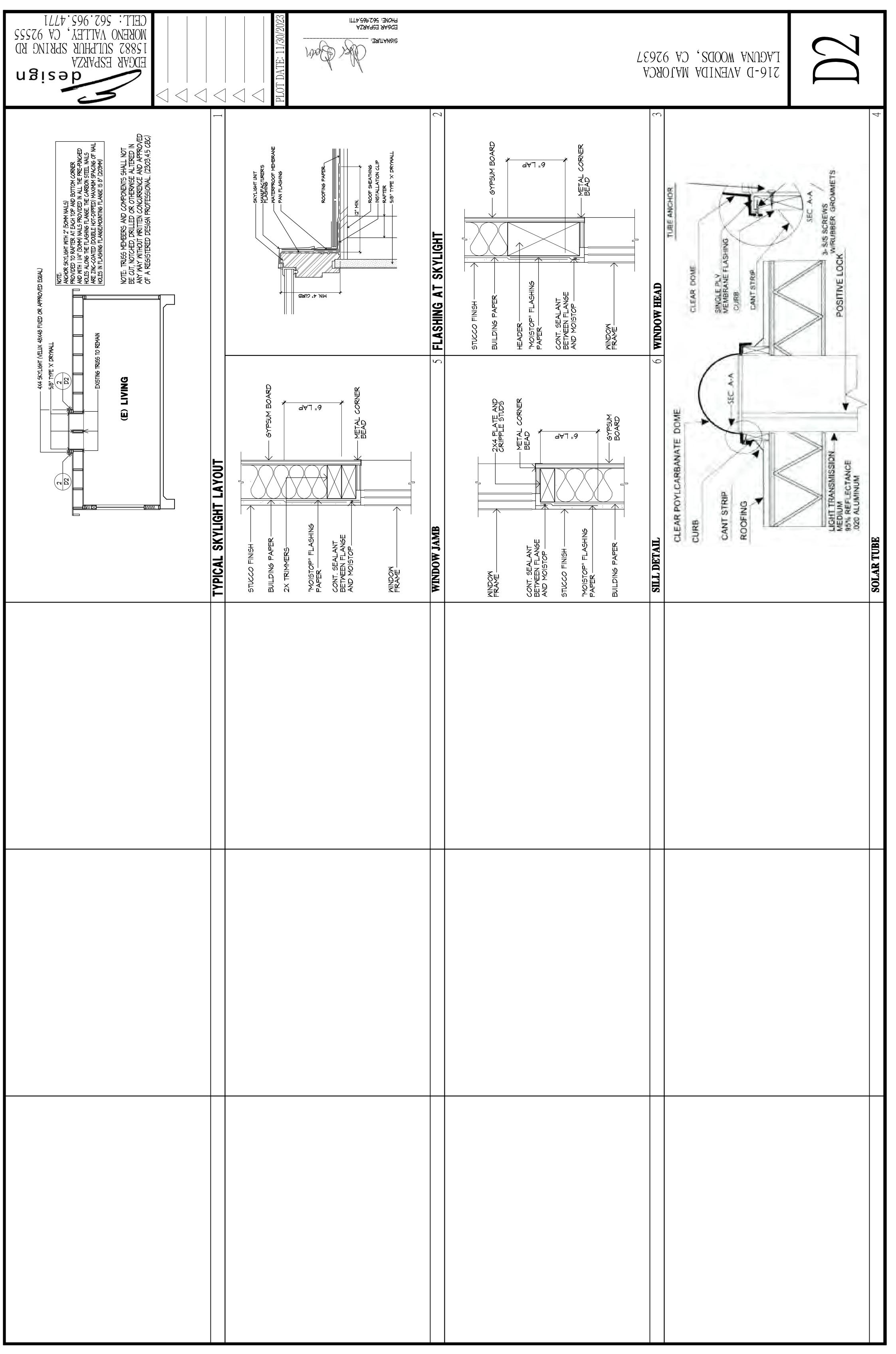












STRUCTURAL GENERAL NOTES & REQUIREMENTS \$ TYPICAL DETAILS REVISIONS CONSULTANT **KEMODE** INTS AS SHOWN DRIVEN TIGHT BUT SHALL SURFACE OF SHEATHING. 3/8" EDGE DISTANCE @ SER & 5/16" TO EDGE OF HRAGM. 1 BOUNDARIES SHOULD BE TO BY FRAMING MEMBERS (1) PANEL JOINT. (2) ROOF OR FLOOR SHEATHING. (3) 2X4 W/ NAILS TO BE MATCHED W/ EDGE NAILING. (4) ROOF OR FLOOR FRAMING MEMBER. (5) 2X4 BLKG G-O" LONG MAX W/ (2) I Gd COMMON NAILS @ EA. END. (6) PANEL EDGE WHERE 2X FLAT BLKG. IS NEEDED @ BLOCKED DIAPHRAGM. (7) DIAPHRAGM BOUNDARY & B.N. PER PLAN. (8) PISCONTINUOUS PANEL EDGE, EDGE NAILING PER PLAN. (9) FIELD NAILING PER PLAN. (10) 24" MIN. UNLESS FULLY BLOCKED @ ALL EDGES. STACC. NAILS SHALL NOT FRACTURE SUN. PROVIDE MIN. 3/8" EDGE L. PROVIDE MIN. 3/8" EDGE L. FRAMING MEMBER & 5/16" TO ELC. PLYWOOD DIAPHRAGM. ALL DIAPHRAGM BOUNDARIES SHOULD BE FULLY SUPPORTED BY FRAMING MEMBERS W. BOUNDARY NAILING. T&G EDGE TO BE LOCATED OVER. CONTINUOUS PANEL JOINT. MAX. UNSUPPORTED SHEATHING TO BE 24". PROVIDE ADEQUATE FRAMING. MEMBERS TO LIMIT SPAN. D= 6(d) FOR #3 THRU #8 D= 8(d) FOR #9 THRU #11 D= 10(d) FOR #14 THRU #18 OP PLATE TUD @ 1G" O.C. LKG @ SHEAR WALL SPLICED W/ E.N. -via 410.01. ABBREVIATION TIE W/ EACH 135° BENDS SHALL BE ∞-{ YPICAL SHEAWALL LAYOUT 4 D= 4(d) FOR #3 THRU #5 D= 6(d) FOR #6 THRU #8 SHEATHING LAYOUT SUPPORT SUPPORT 1 2(d) FOR #6 THRU #8 6(d) FOR #3 THRU #6 ER INSERTS SHALL BE SECURED IN OFFICIAL PRIOR TO THE POURING ALL FOUNDATION TRENCH PRIC PAWL-MG SERIES O. I 57Ø PINS O.C. TO BE INSTALLED IN THICKNESS TO BE MINIMUM 4". ATED COLUMN FOOTING OR IFICALLY DETAILED OR APPROVE BUILDING OFFICIAL. DETAIL NE CONTINUOUS OPERATION FIL CONSOLIDATED UNLESS GROUND, LOCATION TO BE 5. GRADE 40 FOR SIZES FOR INTERIOR NON-SHEAR WALLS USE SIMPSON PDPA WITH A PENETRATION OF 1 1/4" INTO SLAB AT 16" O.C ACCORDANCE WITH ICC ESR-2 138. ACTUAL SLAB THIS ALL HOLDOWNS AND POST ANCHORS TO BE INSTALLED CURRENT SIMPSON STRONG TIE SPECIFICATIONS AND REPORTS & SHALL BE TIED IN PLACE PRIOR TO FOUNDAN DIMENSIONS ARE NOT FURNISHED TO SIMPSON HOLDOWN RESPONSIBILITY OF THE CONTRACTOR'S SUPERINTENC CONTRACTOR AND THE CONCRETE CONTRACTOR TO LIEXACT LOCATION. REFER TO DETAILS FOR PROPER INSTRUCTOR TO LIEXACT LOCATION. REFER TO DETAILS FOR PROPER INSTRUCTOR. ANCHO SHEAR PANEL WHERE OCCURE BLIND AND FACE NAI 12" O.C. FACE NAIL IG" O.C. FACE NAII 6" O.C., TOEN FACE NAIL FACE NAIL FACE NAIL FACE NAIL END NAIL 2 1/2" × 0.131") " × 0.113") : 0.128") 2-16d COMMON (3 1/2" × 0.162" 3-16d BOX (3 1/2" × 0.135") 4-8d BOX (2 1/2" × 0.113") 3-8d COMMON (2 1/2" × 0.131") 3-10d BOX (3" × 0.128") 16d COMMON (3 1/2" × 0.162") 3-16d COMMON (3 1/2"X0.162") 4-10d BOX (3" × 0.128") 16d BOX (3 1/2" × 0.135") ROOF RAFTERS TO RIDGE VALLEY OR HIP RAFTERS ROOF-RAFTER TO 2-INCH RIDGE BEAM BLOCKING BETWEEN CEILING JOISTS, RAFTERS OR TRUSSES TO TOP PLATE OR OTHER FRAMING BELOW BUILT-UP HEADER (2" TO 2" HEADER) BUILT-UP GIRDERS AND BEAMS, 2" LUMBER LAYERS TOP PLATE TO TOP PLATE, END JOINTS TOP PLATE TO TOP PLATE FLAT BLOCKING TO TRUS AND WEB FILLER CEILING JOISTS TO TOP PLATE STUD TO STUD (NOT AT BRACED WALL PANELS) DFL #1 DFL #2 DFL #2 DFL #2 D.F.L. STUD GRADE (UP TO 9'-0"), DFL #2 (TALLER THAN 9'-0") DFL CONSTRUCTION GRADE OR BETTER MUD DFL CONSTRUCTION GRADE OR BETTER IED UNLESS SPECIFICALLY DETAILED MULTI-STUD OR POST, U.N.O. 10. FLOOR JOISTS ARE NOT DESIGNED TO SUPPORT WATER BEDS OR POOL TABLES. FOR TO BE NOTIFIED IF WATER BEDS OR POOL TABLES ARE TO BE USED. 11. STRUCTURAL MEMBERS SHALL NOT BE CUT OR NOTCHED UNLESS SPECIFICALLY DETAILED 12. ALL BEAMS TO BE SUPPORTED WITH FULL BEARING ON MULTI-STUD OR POST, U.N.O. STRUCTURAL INFORMATION SHOWN ON FRAMING PLANS IS FOR THE MAIN STRUCTURAL ELEMENTS. NON-STRUCTURAL ELEMENTS SHALL BE CONSTRUCTED PER APPROVED CODE REQUIREMENTS. PROVIDE SINGLE JOISTS UNDER NON-BEARING PARTITION PARALLEL TO JOISTS. PROVIDE MINIMUM 2 FLOOR JOISTS BELOW BEARING WALLS UNLESS NOTED OTHERWISE ON PLANS. TYPICAL SLOPED/FLAT NON-ASSEMBLY ROOF SHEATHING: 15/32" APA RATED SHEATHING EXP 1 WITH A MIN. PANEL INDEX OF 32/16. REFER TO NER 108 FOR INSTALLATION AND CONDITIONS OF USE. B.N.: 8d COMMON NAIL AT 6" O.C. E.N.: 8d COMMON NAIL AT 6" O.C. F.N.: 8d COMMON NAIL AT 12" O.C. *NOTE: ALL STRUCTURAL RATED PANELS MUST BE STAMPED BY ONE OF THE FOLLOWING APPROVED AGENCIES, APA, PFS/TECO OR PITTSBURG. 20. WALL FRAMING TO BE 2X STUDS AT 16 INCHES O.C. PROVIDE DOUBLE TOP PLATE ON ALL WALLS WITH MINIMUM 48 INCH LAP SPLICE, UNLESS SPECIFICALLY NOTED ON PLANS 21. BUILDING CODE 2308.5.1 BALLOON FRAMED WALLS (NON-BEARING) STUD HEIGHTS: 18. ALL SHEAR PANELS SHALL HAVE CONTINUOUS SHEATHING MATERIAL FROM ONE END TO THE OTHER AND FROM PLATE TO PLATE AS SPECIFIED ON THE DRAWINGS, CONTRACTOR SHALL COORDINATE FRAMING SUCH THAT CONTINUITY OF SHEAR PANELS IS ASSURED. ALL JOIST HANGERS SHALL BE SIMPSON U HANGER, ALL BEAM HANGERS SHALL BE SIMPSON HU HANGERS U.N.O. ON PLAN OR DETAIL. FOLLOW MANUFACTURERS RECOMMENDATIONS FOR INSTALLATION. 21. BUILDING CODE 2308.5.1 BALLOON FRAMED WALLS (NON-BEARING) S - 2X4'S @ 16" O.C. MAXIMUM 14'-0" HEIGHT - 2X6'S @ 16" O.C. MAXIMUM 20'-0" HEIGHT - NO MULTIPLES OF 2X4"S ARE ALLOWED TO SPAN MORE THAN 14'-0". BEARING WALLS EXCEEDING 10'-0" MUST BE DESIGNED CASE BY CASE. 22. HEADERS: USE 4X4 FOR OPENINGS LESS THAN 16" AT BEARING WALLS WITHOL FOR NON-BEARING WALLS: - USE (2)2X4 FOR OPENINGS UP TO 6'-O" MAX. - USE 4X6 FOR OPENINGS UP TO 10'-O" MAX. U.N.O. 23. WITH DEAD LOAD = 6 PSF MAX. ≉ LIVE LOAD = 10 PSF MAX., - 2X4 DF#2 CEILING JOISTS @ 16" O.C. WITH 9'-O" SPAN MAX. - 2X6 DF#2 CEILING JOISTS @ 16" O.C. WITH 14'-6" SPAN MAX. UNLESS NOTED OTHERWISE ON PLAN. ALL LUMBER USED FOR STRUCTURAL PURPOSES SHALL BE LUMBER SHALL BE LESS THAN 19% MOISTURE CONTENT F CONTRACTOR SHALL MANAGE MOISTURE CONTENT TO EN: (EXCEPTION: ROOF TRUSSES MAY BE HEM-FIR OR SPRUC EX & 8X POSTS / BEAMS / HEADERS: 2X JOISTS / BEAMS / HEADERS: 2X JOISTS / RAFTERS: STUDS: DIL #2 DIF. H. STUD GR TYPICAL FLOOR/ROOF DECK/DECK SHEATHING: 23/32" APA RATED STURD-I-FLOOR T&G EXP I WITH MIN. SI REFER TO NER 108 FOR INSTALLATION AND CONDITIONS OB.N.: 104 COMMON NAILS AT 6" O.C. F.N.: 104 COMMON NAILS AT 12" O.C. F.N.: 104 COMMON NAILS AT 12" O.C. ADHESIVES MEETING APA SPECIFICATION AFG-0.1 OR ASTI ACCORDANCE WITH MANUFACTURER'S RECOMMENDATION BLKG. (2X, I-JOIST) MIN. 12" PL LONG @ MAX, 48" O.C. WITH FLOOR E.N. SECURE W/ (2) 164'S E/5. PROVIDE SOUD BLOCKII CONT. RIM JOIST AT ALL BEARING POINTS ALL THREAD ROD, THREAD STUDS, FOUNDATION ANCH CONFORM TO ASTM F1554-GR36. HOLES FOR BOLTS LARGER THAN BOLT DIAMETER. ALL BOLTS SHALL BE IN FACE OF WOOD ALL NAILS SHALL BE SINKER NAILS AND STAGGERED U. ADHESIVE USED TO ATTACH FLOOR SHEATHING TO FRAWITH APA SPECIFICATION AFG-01. 13. PROVIDE POST/MULTIPLE STUDS AT LOWER FLOOR UNE ABOVE.PROVIDE FULL WIDTH AND DEPTH COMPRESSIC SUCH LOCATIONS. 14. ALL FRAMING, BRACING, NAILING, NOTCHING, DRILLING ACCORDANCE WITH BUILDING CODE UNLESS MORE ST SPECIFIED OR REQUIRED BY THE LOCAL JURISDICTION. 15. CONVENTIONAL LIGHT FRAMED CONSTRUCTION REQUIR BE FOLLOWED AS REQUIRED. ALL SILL PLATES BEARING ON MASONRY OR CONCRETE GRADE SHALL BE PRESSURE TREATED IN ACCORDANCE SHALL BE PRESERVATIVE TREATED WITH SODIUM BOR TOP PLATES: SILLS: ROOF SHEATHING FRAMING 9 $\overline{\omega}$ D. FRAMING CLIPS A35's OR L550 IN ALL CASES WHERE A CONFLICT MAY OCCUR SUCH AS BETWEEN ITEMS INCLUDED IN THE SPECIFICATIONS AND NOTES ON THE DRAWINGS OR BETWEEN GENERAL NOTES AND SPECIFIC DETAILS, THE ENGINEER SHALL BE NOTIFIED AND HE WILL INTERPRET THE INTENT OF THE CONTRACT DOCUMENT. THE EFFECTS OF FLOOD HAZARDS AND FLOOD LOADS HAVE NOT BEEN CONSIDERED BY THE EOR IN THE EXISTING DESIGN. THE USE OF THESE PLANS, DRAWINGS, SPECIFICATIONS, AND/OR ELEVATIONS IS RESTRICTED TO THE ORIGINAL USE FOR WHICH THEY WERE PREPARED AND FURNISHED TO THE CLIENT. PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR OTHER PUBLICATION BY ANY METHOD IS PROHIBITED, THE MEANS AND METHODS OF CONSTRUCTION, INCLUDING THE DESIGN, ADEQUACY AND SAFETY OF BRACING, SHORING, GUYING, AND ERECTION AS WELL AS THE SEQUENCE OF CONSTRUCTION HAVE NOT BEEN CONSIDERED BY THE EOR. THE ENGINEER AND HIS REPRESENTATIVES WILL NOT COVER SUCH ITEMS IN THE COURSE OF THE STRUCTURAL OBSERVATIONS. FOR ANY PRE-MANUFACTURED PRODUCTS OR MATERIALS OF CONSTRUCTION, CONTRACTOR SHALL BE RESPONSIBLE FOR BEING FAMILIAR WITH AND FOR PROPER EXECUTION OF MANUFACTURER'S INSTRUCTIONS, REQUIREMENTS AND CONDITIONS OF APPROVAL PRIOR TO INSTALLATION AND/OR USE. WOOD FRAMING MEMBERS (INCLUDING WOOD SHEATHING) LESS THAN & INCHES FROM EXPOSED EARTH SHALL BE NATURALLY DURABLE OR PRESERVATIVE-TREATED WOOD. II. BECAUSE OF LOCATION SOME STRUCTURAL COMPONENTS ARE REQUIRED BY CODE TO BE PROTECTED FROM WATER/MOISTURE PENETRATION OR FROM FIRE DAMAGE. THE METHODS OF PROTECTION OF THESE STRUCTURAL COMPONENTS ARE NOT THE RESPONSIBILITY OF THE EOR AND NOT DETAILED. REFER TO OTHERS FOR WATER / MOISTURE PROOFING METHODS AND FIRE PROOFING DETAILS. EXCEPT WHERE MORE STRINGENT REQUIREMENTS ARE NOTED OR SHOWN IN THE PLANS OR SPECIFICATIONS, ALL PHASES OF WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CALIFORNIA BUILDING CODE, LATEST EDITION, AS WELL AS ALL APPLICABLE STATE AND LOCAL ORDINANCES. 12. CONTRACTOR TO ENSURE THAT ALL DRAINAGE IS DIRECTED AWAY FROM THE EXTERIOR FOOTINGS (MIN. 2% SLOPE). ALL SOLYGRADING RECOMMENDATIONS BY OTHERS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS, CONDITIONS AT THE JOB SITE, AND TO CROSS CHECK ALL DETAILS AND DIMENSIONS SHOWN ON THE STRUCTURAL DRAWINGS WITH RELATED REQUIREMENTS ON THE ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND/OR CIVIL DRAWINGS AND NOTIFY THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING WORK. DETAIL MARKED "TYPICAL" SHALL APPLY IN ALL CASES UNLESS SPECIFICALLY INDICATED OTHERWISE. @ 16" O.C. @ 12" O.C. VIBRATION ANALYSIS HAS NOT BEEN CONSIDERED BY EOR. GENERAL CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE, WORKMAN AND OTHER PERSONS DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT NOT TO BE LIMITED TO, BRACING, SHORING FOR CONSTRUCTION EQUIPMENT AND SHORING FOR THE STRUCTURE. ALL ANCHOR BOLTS @ SHEAR WALL SHALL HAVE O.229"X3"X3" PLATE WASHERS. FASTENERS AND CONNECTORS TO BE GALVANIZED FOR PRESERVATIVE TREAT WOOD SHEATHING CONFORM TO EITHER DOC PS! OR PS2 STANDARDS SHEATHING PANEL JOINT AND SILL PLATE NAILING SHALL BE STAGGERED IN ALL CASES. STUDS ARE SPACED @ 16" O.C. MAX. @ 8" O.C. @ 8" O.C. (U.N.O.) @ 6" O.C. (U.N.O.) IN NO CASE SHALL WORKING DIMENSIONS BE SCALED FROM PLANS, SECTIONS, OR DETAILS ON THE STRUCTURAL DRAWINGS. PROVIDE 3" NOMINAL OR WIDER FRAMING AT ADJOINING PANEL EDGES WITH NAILS STAGGERED. THE SLAB-ON-GRADE IS CONSIDERED A NON-STRUCTURAL COMPONENT AND IS THEREFORE NOT DESIGNED BY THE ENGINEER 3. O.C. 2" O.C. 6" O.C. 4" O.C. SOILS: FOUNDATION ENGINEER HAS BEEN PREDICATED ON DATA AND RECONTHE SOILS REPORT BY: SOILS REPORT NO.: SOIL BEARING PRESSURE: 1500 PSF 50 870 260 340 650 15/32" APA STRUCTURAL I RATED SHEATHING W/ 10d @ 3" O.C. EDGE AND 12" O.C. FIELD 15/32" APA STRUCTURAL I RATED SHEATHING WILOW @ 2" O.C. EDGE AND 12" O.C. FIELD 15/32" APA STRUCTURAL I RATED SHEATHING W/ 104 @ 4" O.C. EDGE AND 12" O.C. FIELD 15/32" APA STRUCTURAL I RATED SHEATHING WI 104 @ 6" O.C. EDGE AND 12" O.C. FIELD 3/8" APA RATED SHEATHING EXP. 1 W/ 84 @ 6" O.C. EDGE AND 12" O.C. FIELD D - DEFAULT m ≥ SHEATHING AND NAIL PATTERN SHEAR WALL SCHEDULE 2022 CALIFORNIA BUILDING CODE GENERAL REQUIREMENTS I. IT SHALL BE THE CONTRACTOR LATERAL LOADS: SEISMIC DESIGN CATEGORY: SITE CLASS: SEISMIC IMPORTANT FACTOR (I BASIS FOR DESIGN WIND EXPOSURE: WIND SPEED = DESIGN LOADS: 5s = 1.2055Ds = 0.964

0.

m

LAGUNA WOODS, CA 92637

216-D AVENIDA MAJORCA

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GENERAL CONTRACTOR SHALL FIRST SUBMIT SEPARATE DRAWINGS FOR THE ABOVE ELEMENTS TO THE EOR FOR THEIR REVIEW AND IF APPROVED, THEN SUBMIT TO THE BUILDING OFFICIALS FOR THEIR REVIEW AND APPROVAL, CITY APPROVAL SHALL BE OBTAINED PRIOR TO INSTALLATION OF ELEMENT SUBJECTED TO DEFERRED APPROVAL.

ELEMENTS OF STRUCTURE THAT ARE MARKED "BY OTHERS" SHALL BE EXCLUDED FROM THIS WORK PERMIT,

09/09/2023

PLOT DATE:

ENGINEER:

EACH JOIST OR RAFTER, FACE NAIL

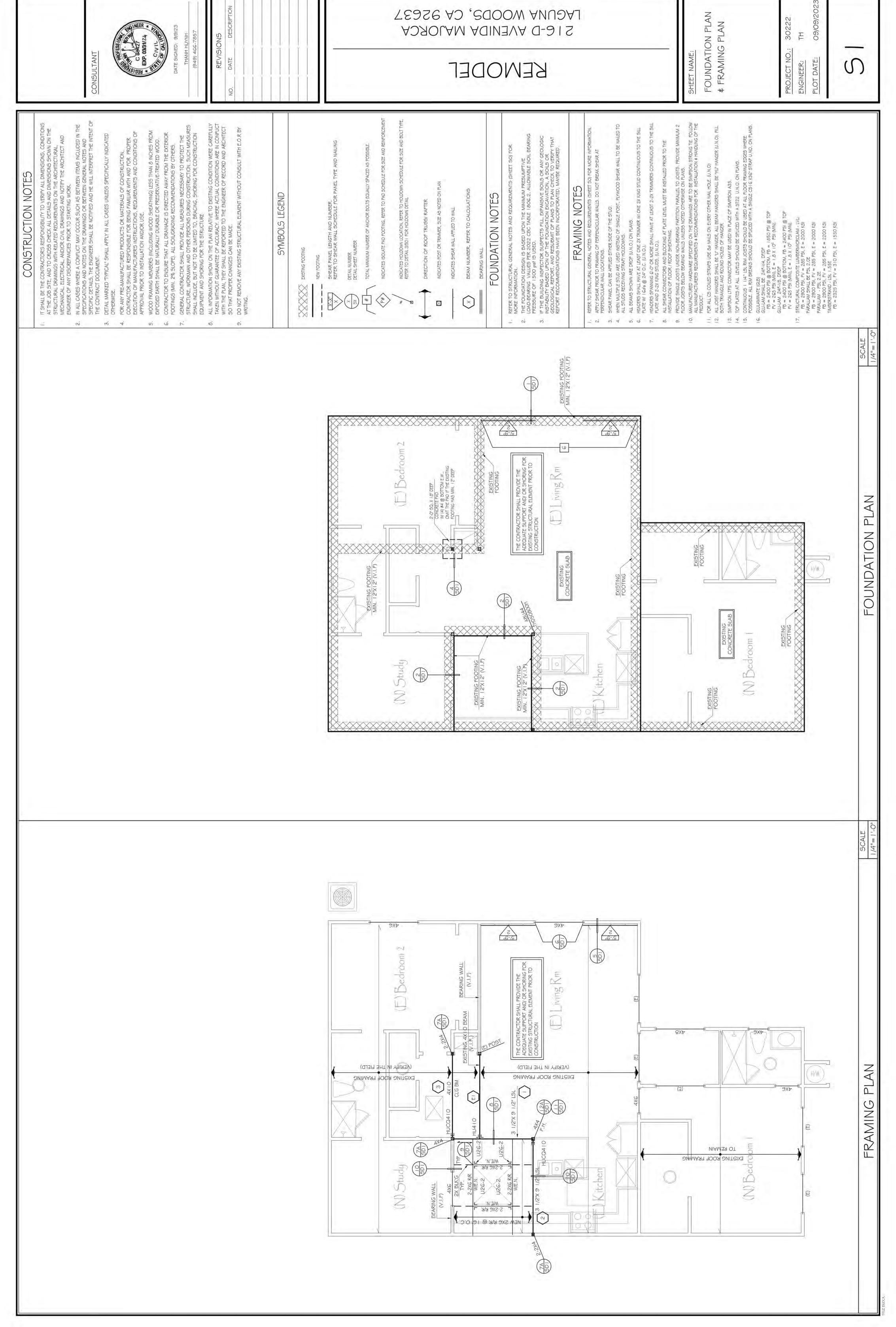
JOIST TO BAND JOIST OR RIM JOIST

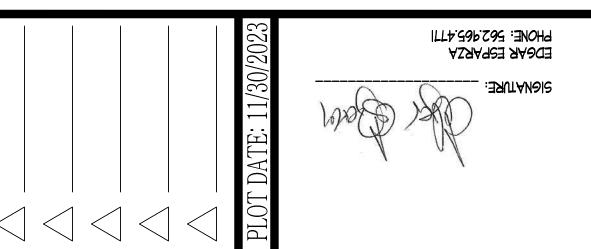
7. LEDGER STRIP SUPPORTING JOISTS OR RAFTERS

P.T.D.F SILL PLATE WITH ANCHO BOLT, SEE FOUNDATION PLAN FOR SIZE AND SPACING

CODE APPROVED SHOT PIN SEE FOUNDATION NOTES

TYPICAL FRAMING CROSS SECTION





2022 CALIFORNIA GREEN BUILDING STANDARDS CODE 1 (January 2023) **MANDATORY MEASURES, SHEET** RESIDENTIAL

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SEKING KD

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CEFF:

EDGAR ESPARZA

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MATERIAL CONSERVATION AND RESOURCE 4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING 4.408.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 65 percent of the non-hazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste management ordinance. with a sealed combustion system that draws all air for es all flue gases to the outside atmosphere. 1. The Model Water Efficient Landscape Ordinance (MWELO) is located in the *California Code Regu* Title 23, Chapter 2.7, Division 2. MWELO and supporting documents, including water budget calcu 4.410.2 RECYCLING BY OCCUPANTS. Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waster, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive. Utilize a waste management company, approved by the rifiable documentation that the percentage of construction the landfill complies with Section 4,408.1. Excavated soil and land-clearing debris.

Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reason close to the jobsite. **4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE.** Projects that generate a total corweight of construction and demolition waste disposed of in landfills, which do not exceed 2 por per square foot of the building area, shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1 AGRIFIBER PRODUCTS. Agrifiber products include wheatboard, strawboard, panel substrates and cores, not including furniture, fixtures and equipment (FF&E) not considered base building elements 4 WASTE STREAM REDUCTION ALTERNATIVE [LR]. Projects that generate a total comt weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 lbs./sq.ft. of the building area shall meet the minimum 65% construction waste reduction requescetion 4.408.1 on shall be provided to the enforcing agency which ns 1 through 5, Section 4.408.3 or Section 4.408.4 4.406.1 RODENT PROOFING. Annular spaces around pipes, electric cables, conduits or off rcing agency may make exceptions to the requirements of this section vare located in areas beyond the haul boundaries of the diversion facility n and maintenance instructions for the following:
quipment and appliances, including water-saving devices and system obtovoltaic systems, electric vehicle chargers, water-heating systems opliances and equipment.
The system including authers and rainage, including authers are conditioning and part of an analysis of and yard drainage, including authers are conditioning and are condition will be sorted on **ENVIRONMENTAL QUALITY** means of reducing the quality of air well being of a building's installers, 2 CONSTRUCTION WASTE MANAGEMENT PLAN. Submit a constrict in conformance with Items 1 through 5. The construction waste manage necessary and shall be available during construction for examination b. and incentive programs avail fications required by the enfo Forestry and Fire Protection o als to be div 4.410 BUILDING MAINTENANCE AND OPERATION
4.410.1 OPERATION AND MAINTENANCE MANUAL. At the time of fine disc, web-based reference or other media acceptable to the enforci following shall be placed in the building: 4.304 OUTDOOR WATER USE
4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS.
a local water efficient landscape ordinance or the current California Depa
Efficient Landscape Ordinance (MWELO), whichever is more stringent. ction. bris (C & D) procei Specify that the amount of construction and debe weight or volume, but not by both. DIRECT-VENT APPLIANCE. A fuel-burning applismonning transpries and disc Rural jurisdictions that mee 42649.82 (a)(2)(A) et seq. this section. SECTION 4.502 DEFINITIONS 5.102.1 DEFINITIONS
The following terms are defined in Chapter? 5 DOCUMENTATION. Document compliance with Section 4.408.2, SECTION 4.501 GENERAL 4.501.1 Scope The provisions of this chapter shall outli Note: The owner or materials will be dive DIVISION 4.4 EFFICIENCY **DIVISION 4.5** 5 e d c D 9.01 4.0 - 2 3 Y N/A RESPON. **4.303.1.2 Urinals.** The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush. The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush. **4.303.1.4.4 Kitchen Faucets.** The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 60 psi. 4.303.1.4.1 Residential Lavatory Faucets. The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.8 gallons per minute at 20 psi.
4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas. The maximum flow rate of lavatory faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential buildings shall not exceed 0.5 gallons per minute at 60 psi. **4.303.1.3.1 Single Showerhead.** Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads. **4.303.1.3.2 Multiple showerheads serving one shower**. When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to only allow one shower outlet to be in operation at a time. Note: All noncompliant plumbing fixtures in any residential real property shall be replaced with water-conservin plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy, or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates. 4.303 INDOOR WATER USE
4.303 INDOOR WATER USE
4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.303.1.3, and 4.303.4.4. Is not required it a minimum 40-ampere 208/240-voit dedicated EV branch circuit is imity to the location or the proposed location of the EV space at the time of original cance with the California Electrical Code. 4.106.4.3 Electric vehicle charging for additions and alterations of parking facilities serving existing multifamily buildings.
When new parking facilities are added, or electrical systems or lighting of existing parking facilities are added or altered and the work requires a building permit, ten (10) percent of the total number of parking spaces added or altered shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. **4.303.1.4.5 Pre-rinse spray valves.**When installed, shall meet the requirements in the *California Code of Regulations*, Title 20 (Appliance Efficiency Regulations), Sections 1605.1 (h)(4) Table H-2, Section 1605.3 (h)(4)(A), and Section 1607 (d)(7) and shall be equipped with an integral automatic shutoff. Product Class 2 (> 5.0 ozf and ≤ 8.0 ozf)

Product Class 3 (> 8.0 ozf)

Title 20 Section 1605.3 (h)(4)(A): Commercial prerinse spray values manufactured on or after Januar, 1, 2006, shall have a minimum spray force of not less than 4.0 ounces-force (ozf)[113 grams-force(gf)] FOR REFERENCE ONLY: The following table and code section have been reprinted from the *Califor Code of Regulations*, Title 20 (Appliance Efficiency Regulations),Section 1605.1 (h)(4) and Section 1605.3 (h)(4)(A). 4.303.1.1 Water Closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Toilets. **Note**: The effective flush volume of dual flush toilets is defined as the composite, average flush volutivo reduced flushes and one full flush. MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 PSI 4.106.4.2.4 Identification.
The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reser future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code. 4.106.4.2.5 Electric Vehicle Ready Space Signage. Electric vehicle ready spaces shall be identified by signage or pavement markings, in compliance with Caltr Traffic Operations Policy Directive 13-01 (Zero Emission Vehicle Signs and Pavement Markings) or its ards in this code, the California Ener gs. Submeters shall be installed to measure water usage of individual rental dwelling units in accordance california Plumbing Code. 4.303.3 Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table 1701.1 of the California Plumbing Code. STANDARDS FOR COMMERCIAL PRE-RINSE SPRAY VALUES MANUFACTURED ON OR AFTER JANUARY 28, 2019 MAXIMUM FLOW RATE (gpm) 0.5 GPM @ 60 PSI 1.8 GPM @ 60 PSI 0.2 GAL/CYCLE 1.28 GAL/FLUSH 1.8 GMP @ 80 PSI FLOW RATE NOTE: THIS TABLE COMPILES THE DATA IN SECTION 4.303.1, AND IS INCLUDED AS A CONVENIENCE FOR THE USER. ng units in mixed-used resid ENERGY EFFICIENCY TABLE - MAXIMUM FIXTURE WATER USE FIXTURE TYPE 4.201 GENERAL
4.201.1 SCOPE. For the purposes of mandatory energy efficential continue to adopt mandatory standards. LAVATORY FAUCETS IN COMMON & PUBLIC
USE AREAS
KITCHEN FAUCETS
METERING FAUCETS
WATER CLOSET ings and dw PRODUCT CLASS [spray force in ounce force (ozf)] **4.303.1.4.3 Metering Faucets.** Mete more than 0.2 gallons per cycle. LAVATORY FAUCETS (RESIDENTIAL) SHOWER HEADS (RESIDENTIAL) ct Class 1 (≤ 5.0 oz TABLE H-2 **DIVISION 4.2** 4.106.4.2 New multifamily dwellings, hotels and motels and new residential parking facilities.
When parking is provided, parking spaces for new multifamily dwellings, hotels and motels shall meet the requirements of Sections 4.106.4.2.2 and 4.106.4.2.2. Calculations for spaces shall be rounded up to the nearest whole number. A parking space served by electric vehicle supply equipment or designed as a future EV charging space shall count as at least one standard automobile parking space only for the purpose of complying with any applicable minimum parking space requirements established by a local jurisdiction. See Vehicle Code Section 22511.2 for further details.
4.106.4.2.1Multifamily development projects with less than 20 dwelling units; and hotels and motels with less than 20 sleeping units or guest rooms.
The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to this section. When low power Level 2 EV charging receptacles or Level 2 EVSE are installed beyond the minimum required, an automatic load management system (ALMS) may be used to reduce the maximum required electrical capacity to each space served by the ALMS. The electrical system and any on-site distribution transformers shall have sufficient capacity to deliver at least 3.3 kW simultaneously to each EV charging station (EVCS) served by the ALMS. The branch circuit shall have a minimum capacity of 40 amperes, and installed EVSE shall have a capacity of not less than 30 amperes. ALMS shall not be used to reduce the minimum required electrical capacity to the required EV capable spaces. 2.When EV chargers (Level 2 EVSE) are installed in a number less than the required number of EV capable spaces, the number of EV capable spaces required may be reduced by a number equal to the number of EV chargers installed. 3.One in every 25 charging spaces, but not less than one, shall also have an 8-foot (2438 mm) wide minimum aisle. A 5-foot (1524 mm) wide minimum aisle shall be permitted provided the minimum width of the EV space is 12 feet (3658 mm). 4.106.4.2.2.1 Electric vehicle charging stations (EVCS).
Electric vehicle charging stations required by Section 4.106.4.2.2, Item 3, shall comply with Section 4.106.4.2.2.1.
Exception: Electric vehicle charging stations serving public accommodations, public housing, motels and hotels shall not be required to comply with this section. See California Building Code, Chapter 11B, for applicable requirements.
4.106.4.2.2.1.1 Location.
EVCS shall comply with at least one of the following options: 1.The charging space shall be located adjacent to an accessible parking space meeting the requirements of the California Building Code, Chapter 11A, to allow use of the EV charger from the accessible parking space. Exception: When EV chargers (Level 2 EVSE) are installed in a number greater than five (5) percent of parking spaces required by Section 4.106.4.2.2, Item 3, the number of EV capable spaces required may be reduced by a number equal to the number of EV chargers installed over the five (5) percent required. 1.EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at a minimum of 40 amperes. 4.106.4.2.2 Multifamily development projects with 20 or more dwelling units, hotels and motels with 20 or mo sleeping units or guest rooms.
The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject this section. 1.EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at a minimum of 40 amperes. 4.106.4.2.3 EV space requirements.

1. Single EV space required. Install a listed raceway capable of accommodating a 208/240-volt dedicated branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proximity to the location or the proposed location of the EV space. Construction documents shall identify the raceway termination point, receptacle or charger location, as applicable. The service panel and/ or subpanel shall have a 40-ampere minimum dedicated branch circuit, including branch circuit overcurrent protective device installed, or space(s) reserved to permit installation of a branch circuit overcurrent protective device installed. 2.EV Ready. Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per dwelling unit when more than one parking space is provided for use by a single dwelling unit. 3.EV Chargers. Five (5) percent of the total number of parking spaces shall be equipped with Level 2 EVSE. Where common use parking is provided, at least one EV charger shall be located in the common use parking area and shall be available for use by all residents or guests. **2.EV Ready.** Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required pedwelling unit when more than one parking space is provided for use by a single dwelling unit. cles for EV charging o **4.106.4.2.2.1.3 Accessible EV spaces.**In addition to the requirements in Sections 4.106.4.2.2.1.1 and 4.106.4.2.2.1.2, all EVSE, when installed, shall comply with the accessibility provisions for EV chargers in the California Building Code, Chapter 11B. EV ready spaces and EVCS in multifamily developments shall comply with California Building Code, Chapter 11A, Section 1109A. 2.Multiple EV spaces required. Construction documents shall indicate the raceway termination point and the location of installed or future EV spaces, receptacles or EV chargers. Construction documents shall also provide information on amperage of installed or future receptacles or EVSE, raceway method(s), wiring schematics and electrical load calculations. Plan design shall be based upon a 40-ampere minimum branch circuit. Required raceways and related components that are planned to be installed underground, enclosed, inaccessible or in concealed areas and spaces shall be installed at the time of original construction. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reser for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code. 2.The charging space shall be located on an accessible route, as defined in the California Building Code, Chapter 2, to the building. a.Surface slope for this EV space and the aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083 percent slope) in any direction. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) restor for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code. Exception: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the location or the proposed location of the EV space, at the time of original construction in accordance with the California Electrical Code. Exception: Electric vehicle charging stations designed and constructed in compliance with the Cali Building Code, Chapter 11B, are not required to comply with Section 4.106.4.2.2.1.2, Item 3. lled in a number equal to or gre ns of future EV spaces. 4.106.4.2.2.1.2 Electric vehicle charging stations (EVCS) dimensions
The charging spaces shall be designed to comply with the following:

1. The minimum length of each EV space shall be 18 feet (54RR m-1.). ium length of each EV space shall be 18 feet (5486 mm). Ium width of each EV space shall be 9 feet (2743 mm). ities served by parking lifts. ties served by parking lifts. b.There is no requirement for EV spaces to be con:EV chargers are installed for use. b. There is no requirement for EV spaces to be con EV chargers are installed for use. 1.When EV chargers (Level 2 EVSE) are instofed to a spaces. Exception: Areas of parking facil Areas of parking faci RESPON. PARTY **301.1.1 Additions and alterations.** [HCD] The mandatory provisions of Chapter 4 shall be applied to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to and/or within the specific area of the addition or alteration. **301.1 SCOPE.** Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code. Voluntary green building measures are also included in the application checklists and may be included in the design and construction of structures covered by this code, but are not required unless adopted by a city, county, or city and county as specified in Section 101.7. 4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages. For each dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere 208/240-volt minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit Note: On and after January 1, 2014, residential buildings undergoing permitted alterations, additions improvements shall replace noncompliant plumbing fixtures with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certifica of occupancy or final permit approval by the local building department. See Civil Code Section 1101. et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected ar other important enactment dates. uildings shall 4.106.4.1.1 Identification. The service panel or subpanel circuit directory shall identify the overcurren protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination shall be permanently and visibly marked as "EV CAPABLE". omplying with Section 419 of the Calificies. Live/Work units shall comply with The mandatory provision of Section 4.106.4.2 may apply to additions or alterations of existing par facilities or the addition of new parking facilities serving existing multifamily buildings. See Section 4.106.4.3 for application. Exemption: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the proposed location of an EV charger at the time of original construction in accordance with the *California Electrical Code*. Retention basins of sufficient size shall be utilized to retain storm water on the site. Where storm water is conveyed to a public drainage system, collection point, gutter or similar disposal method, water shall be filtered by use of a barrier system, wattle or other method appr by the enforcing agency. Compliance with a lawfully enacted storm water management ordinance. SECTION 302 MIXED OCCUPANCY BUILDINGS

302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a buil shall comply with the specific green building measures applicable to each specific occupancy.

Exceptions: 4.106 SITE DEVELOPMENT
4.106.1 GENERAL. Preservation and use of available natural resources shall be accomplished through evaluated careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes, management of storm water drainage and erosion controls shall comply with this section. 301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD] The provisit individual sections of CALGreen may apply to either low-rise residential buildings high-rise residential buildings, or both. Individual sections will be designated by banners to indicate where the section apply specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and high-rise buildings, no banner will be used. 4.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Secti 4.106.4.1 or 4.106.4.2 to facilitate future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625. WATTLES. Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant such as hay, straw or similar material shaped in the form of tubes and placed on a downflow slope. Wattl used for perimeter and inlet controls. **Note**: Refer to the State Water Resources Control Board for projects which disturb one acre or m are part of a larger common plan of development which in total disturbs one acre or more of soil. 4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. Projects which than one acre of soil and are not part of a larger common plan of development which in total dist or more, shall manage storm water drainage during construction. In order to manage storm wate during construction, one or more of the following measures shall be implemented to prevent floor property, prevent erosion and retain soil runoff on the site. **Note:** Repairs including, but not limited to, resurfacing, restriping and repairing or lighting fixtures are not considered alterations for the purpose of this section. GRADING AND PAVING. Construction plans shall indicate how the site grading or dranage all surface water flows to keep water from entering buildings. Examples of met vater include, but are not limited to, the following: RESIDENTIAL MANDATORY MEASURES Swales
Water collection and disposal systems
French drains
Water retention gardens
Other water measures which keep surface water away from buildin recharge. ABBREVIATION DEFINITIONS:
HCD Department of Housing and Community Development BSC California Building Standards Commission DSA-SS Division of the State Architect, Structural Safety OSHPD Office of Statewide Health Planning and Develorment LR High Rise AA Additions and No. FRENCH DRAIN. A trench, hole or other depressed area loosely filled pervious material used to collect or channel drainage or runoff water. ied in Chapter 2 (and are in ds.ca.go SECTION 4.102 DEFINITIONS 4.102.1 DEFINITIONS The following terms are defined in Chapter 2 CHAPTER 3
GREEN BUILDING
SECTION 301 GENERAL **CHAPTER 4** Y NIA RESPON.

	Y NIA RESPON.
Z (January 2023)	RESPON. PARTY
EASURES, SHEE	Y NIA

CETT: 295.965.4771

EDGAR ESPARZA

2885 SOLPHUR SPRING RD

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VOC. A volatile organic compound (VOC) broadly defined as a chemical compound based on carbon chains or rings with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94508(a).

REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to cor ozone formation in the troposphere.

PRODUCT-WEIGHTED MIR (PWMIR). The sum of all weighted-MIR for all ingredients in a product subject to this article. The PWMIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of product (excluding container and packaging).

Note: PWMIR is calculated according to equations found in CCR, Title 17, Section 94521 (a).

MOISTURE CONTENT. The weight of the

carbon solvents are specified in CCR, Title 17, Sections 94700

MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change in weight of ozone formed by adding a compound to the "Base Reactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to hundredths of a gram (g O³/g ROC).

Note: MIR values for individual compounds and hydrocarbon solvents are specified in CCR, Title 17, Sections 9 and 94701.

Y N/A RESPON.

4.503 FIREPLACES
4.503.1 GENERAL. Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, bellet stoves and fireplaces shall also comply with applicable local ordinances.

4.504 POLLUTANT CONTROL
4.504.1 COVERING OF DUCT OPENINGS & PROTECTION OF MECHANICAL EQUIPMENT DURING
CONSTRUCTION. At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution compon openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agreeduce the amount of water, dust or debris which may enter the system.

4.504.2.1 Adhesives, Sealants and Caulks. Adhesives, sealant and caulks used on the project shall meet th requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply:

4.504.2 FINISH MATERIAL POLLUTANT CONTROL. Finish

Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of *California Code of Regulations*, Title 17, commencing with section 94507.

	TABLE 4.504.2 - SEALANT VOC LIMIT			TABLE 4.504.5 - FORMALDEHYDE LIMITS	IMITS:
	(Less Water and Less Exempt Compounds in Grams per Liter)	per Liter)		MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION	TS PER MILLION
	SEALANIS	VOC LIMIT		HARDWOOD PLYWOOD VENEER CORE	CURRENI LIMII
	MARINE DECK	760		HARDWOOD DIYWOOD COMPOSITE CORE	0.05
	NONMEMBRANE ROOF	300		PARTICLE BOARD	60.0
	ROADWAY	250		MEDIUM DENSITY FIBERBOARD	0.11
	SINGLE-PLY ROOF MEMBRANE	450		THIN MEDIUM DENSITY FIBERBOARD,	0.13
	OTHER	420		1. VALUES IN THIS TABLE ARE DERIVED FROM	THOSE SPECIFIED
	SEALANT DRIMEDS			BY THE CALIF. AIR RESOURCES BOARD, AIR TO	OXICS CONTROL
	APCHITECTION			MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTM E 1333. FOR ADDITIONAL INFORMATION. SEE CALIF.	IN ACCORDANCE ATION, SEE CALIF.
	אאכיויין ביין טאאר	250		CODE OF REGULATIONS, TITLE 17, SECTIONS 9	93120 THROUGH
	NON-POROUS	230		93120.12.	
	POROUS	6//		THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 5/16" (8 MM).	MAXIMUM
	MODIFIED BITUMINOUS	000			
	MARINE DECK	760		DIVISION 4.5 ENVIRONMENTAL QUAI	LITY (continued
	N THE COLUMN THE COLUM			4.504.3 CARPET SYSTEMS. All carpet installed in the building interior shall meet the requirements. Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Ch from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing California Specification 01350)	r shall meet the requiremen aluation of Volatile Organic nuary 2017 (Emission testin
				See California Department of Public Health's website for certification programs and testing labs.	ograms and testing labs.
	TABLE 4 504 3 VOC CONTENT LIMITS EOP	TO EOD		https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.	s/VOC.aspx.
	ARCHITECTURAL COATINGS23	۲۵. o :		4.504.3.1 Carpet cushion. All carpet cushion installed in the buil California Department of Public Health, "Standard Method for the	ilding interior shall meet the Testing and Evaluation of
	1777	WATER & LESS EXEMPT		Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, Janu (Emission testing method for California Specification 01350)	Chambers," Version 1.2, Ja
	COATING CATEGORY	VOCTIMIT		See California Department of Public Health's website for certification programs and testing lab	tion programs and testing l
	FLAT COATINGS	50		https://www.cdph.ca.gov//Programs/CCDPHP/DEODC/EHLB/IAO/Pages/VOC.aspx	/Pages/VOC.aspx
	NON-FLAT COATINGS	100		4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1	equirements of Table 4.504
	NONFLAT-HIGH GLOSS COATINGS	150			
	SPECIALTY COATINGS			4.504.4 RESILIENT FLOORING SYSTEMS. Where resilient flooring is installed, at least 80% of florestilient flooring shall meet the requirements of the California Department of Public Health, "Standard	s installed , at least 80% of ent of Public Health, "Stand
	ALUMINUM ROOF COATINGS	400		Testing and Evaluation of Volatile Organic Chemical Emissions from Inc Version 1.2. January 2017 (Emission testing method for California Spec	door Sources Using Enviror cification 01350)
	BASEMENT SPECIALTY COATINGS	400		Coe Colifornia Denorthment of Duklia Health's website for certification and	oursme and teeting lake
	BITUMINOUS ROOF COATINGS	50		See Callionia Departition of Fubility Treatings website for certification programs and testing table	ogianis and testing labs.
	BITUMINOUS ROOF PRIMERS	350		mips.//www.cdpn.ca.gov/riograms/CCDFnr/DECDC/EnLb/IAQ/rages/vCC.aspx	es/vOC.dspx.
	BOND BREAKERS	350		4.504.5 COMPOSITE WOOD PRODUCTS. Hardwood plywood, particl	leboard and medium densit
	CONCRETE CURING COMPOUNDS	350		composite wood products used on the interior or exterior of the buildings shall meet the requirements formal deburde as specified in ARR's Air Toxics Control Measure for Composite Wood (17 CCR 9312)	s shall meet the requireme
	CONCRETE/MASONRY SEALERS	100		by or before the dates specified in those sections, as shown in Table 4.	504.5
	DRIVEWAY SEALERS	50		4.504.5.1 Documentation. Verification of compliance with this section shall be provided as re	section shall be provided as
	DRY FOG COATINGS	150		by the enforcing agency. Documentation shall include at least on	e of the following:
	FAUX FINISHING COATINGS	350			
	FIRE RESISTIVE COATINGS	350		3. Product labeled and invoiced as meeting the Composit	te Wood Products regulatic
	FLOOR COATINGS	100		4. Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engli	or PS-2 standards of the Er
	FORM-RELEASE COMPOUNDS	250			pean 636 3S standards, an
	GRAPHIC ARTS COATINGS (SIGN PAINTS)	200		Other methods acceptable to the enforcing agency.	
	HIGH TEMPERATURE COATINGS	420			
	INDUSTRIAL MAINTENANCE COATINGS	250		4.505 INTERIOR MOISTURE CONTROL	; ;
	LOW SOLIDS COATINGS1	120		4.505.1 General. Buildings shall meet or exceed the provisions of the (Calitornia Building Standar
	MAGNESITE CEMENT COATINGS	450		4.505.2 CONCRETE SLAB FOUNDATIONS. Concrete slab foundations required to have a vapor re California Building Code. Chapter 19. or concrete slab-on-ground floors required to have a vapor reta	ns required to have a vapor s required to have a vapor r
	MASTIC TEXTURE COATINGS	100		California Residential Code, Chapter 5, shall also comply with this secti	ion.
	METALLIC PIGMENTED COATINGS	200		4.505.2.1 Capillary break. A capillary break shall be installed in compliance with at least one	compliance with at least o
	MULTICOLOR COATINGS	250		Tollowing:	
	PRETREATMENT WASH PRIMERS	420		 A 4-inch (101.6 mm) thick base of 1/2 inch (12.7mm) or a vapor barrier in direct contact with concrete and a co 	or larger clean aggregate shoncrete mix design, which w
	PRIMERS, SEALERS, & UNDERCOATERS	100		shrinkage, and curling, shall be used. For additional in	nformation, see American C
	REACTIVE PENETRATING SEALERS	350		2. Other equivalent methods approved by the enforcing agency.	agency.
	RECYCLED COATINGS	250		 A siab design specified by a licensed design profession 	nai.
	ROOF COATINGS	50		4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS. Building materials with visible signs of shall not be installed. Wall and floor framing shall not be enclosed when the framing members excee	materials with visible signs n the framing members exc
	RUST PREVENTATIVE COATINGS	250		moisture content. Moisture content shall be verified in compliance with	the following:
	SHELLACS			 Moisture content shall be determined with either a probe-type or contact-type moisture me moisture verification methods may be approved by the enforcing agency and shall satisfy 	e or contact-type moisture re
_	CLEAR	730	_	found in Section 10.18 of this code,	the month (mm) from the
_	OPAQUE	550	_		o 4 teet (1219 mm) nom ar

4.504.2.3 Aerosol Paints and Coatings. Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of *California Code of Regulations*, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation 8, Rule 49.

Verification of compliance with this section shall be provided unentation may include, but is not limited to, the following:

4.504.2.4 Verification. enforcing agency. Doc

1. Manufacturer's product specification. 2. Field verification of on-site product α

TABLE 4.504.1 - ADHESIVE VOC LIMIT_{1,2}
(Less Water and Less Exempt Compounds in Grams per Lite
ARCHITECTURAL APPLICATIONS
INDOOR CARPET ADHESIVES
CARPET PAD ADHESIVES
OUTDOOR CARPET ADHESIVES
WOOD FLOORING ADHESIVES

2INC-RICH PRIMERS

1. GRAMS OF VOC PER LITER OF COATING, INCLUDING WATER & EXEMPT COMPOUNDS

2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE.

3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD. 100 250 250 450 100 420 250 275 350

510 490 325 250 550 80 80 140 250

ABS WELDING
PLASTIC CEMENT WELDING

SUBSTRATE SPECIFIC APPLICATIONS

OROUS MATERIAL (EXCEPT WOOD)

MULTIPURPOSE CONSTRUCTION ADHESIVE STRUCTURAL GLAZING ADHESIVES SINGLE-PLY ROOF MEMBRANE ADHESIVES

SPECIALTY APPLICATIONS

CERAMIC TILE ADHESIVES
VCT & ASPHALT TILE ADHESIVES
DRYWALL & PANEL ADHESIVES

COVE BASE ADHESIVES

I. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.

2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168.

ATTACHMENT 5

CONDITIONS OF APPROVAL DRAFT

CONDITIONS OF APPROVAL

<u>Manor:</u> 216-D

<u>Variance Description:</u> Convert Laundry to Bathroom with new window, and center

Living Room and Bedroom windows

A Variance for Alterations has been granted at the above manor, subject to the attached plans stamped approved and is subject to a final inspection by the Division. Any variations to the approved attached plans are not allowed and could result in a stop work notice and/or disciplinary action taken against the Member.

Manor-Specific Conditions:

A. General Comments:

- A.1. The Member shall provide plans, specifications, and calculations from a duly licensed architect or structural engineer to conform to the Building Code for all footing and foundation additions and modifications for the work of this variance, up to and including both patio wall modifications and new construction retaining wall.
- A.2. A City of Laguna Woods Building Permit will be required and provided to Manor Alterations to verify all code requirements for new or modified structural components, and shoring have been satisfied.

B. Materials and Methods:

- B.1. The new alteration roof must be installed using materials to match the existing Mutual roof to which it will be tied into (PVC). All tie-in requirements outlined in section G.2. must be met.
- B.2. Where possible all materials and methods must correspond to existing mutual standards i.e. window construction, exterior finishes etc.

C. Requirements for Mutual Consent for Alterations:

C.1. Prior to the Issuance of a Mutual Consent for Alterations, a complete set of unit specific plans, specifications and calculations prepared by a licensed

architect or structural engineer depicting the proposed improvement must be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict any required structural modifications ensuring the structural integrity of the building is maintained upon completion of the proposed improvement.

D. Requirements for Final Inspection by Manor Alterations:

- D.1. Prior to Final Inspection by Manor Alterations, a scanned copy of the City-Approved and Stamped plan set shall be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict the work as completed and approved by the City, including all structural and architectural modifications.
- D.2. Prior to Final Inspection by Manor Alterations, all altered exterior surfaces should match the Building texture and color; vinyl fence/gate will be either white or taupe, tubular steel or wrought iron fence/gate will be black or existing body color of the building; the approved colors and materials are available at Resident Services, located at the Community Center first floor.

General Conditions:

G. General Conditions

- G.1. No improvement shall be installed, constructed, modified or altered at 216-C, ("Property") within the United Laguna Woods Mutual ("Mutual") without an approved Mutual Consent for Alterations application for the improvement has been made to, and approved, in writing, by, the Village Management Services, Inc. ("VMS, Inc."), Alterations Division ("Division"), or, in the event of a Variance from the Mutual's Alteration Standards, the Architectural Control and Standards Committee ("ACSC"). In the event written permission is given for the installation, construction, modification or alteration of any improvement(s) upon the Property, the Member or Members ("Member") agrees to comply with the Mutual's Governing Documents and any specific terms or conditions imposed, and that the installation, construction, modification or alteration shall be in strict compliance with the terms of the approval.
- G.2. Prior to the issuance of a Mutual Consent for Alterations, if required, a Mutual Roof Alteration Notification ("Tie-In Form") must be submitted to the Division. All roof tie-ins must be performed by a C-39 Licensed Contractor. The Member

may hire a C-39 Licensed Contractor of his/her own choice to perform roof tieins for the installation of alterations on all roof types except PVC Cool Roofs. For PVC Cool Roofs, regardless of the roof type, all tie-ins must be performed by the Mutual's roofing contractor at the Member's expense. All tie-ins may only be made to sound structural elements. Existing structural elements proposed to be tied to, which exhibit signs of dry rot or other structural defects, must first be replaced or repaired at the Member's expense during construction of the improvement.

- G.3. Member hereby consents to and grants to the Mutual and the Maintenance and Construction Department , and their representatives, a right of entry upon the Property, with reasonable notice, to inspect the permitted improvements, and for their representatives and contractors to remedy any violation upon the Property, including, but not limited to, unauthorized disturbance of regulated materials, removing trash from common areas, removing any improvement installed without approval or modifying an improvement to bring the same into compliance with the terms of the approval. Any remedial work performed on behalf of the manor owner as a result of violations to Mutual policy and/or regulatory violations will be processed as a chargeable service.
- G.4. All costs for maintenance, repair, renovation, replacement or removal of the improvement, present and future, are the responsibility of the Property's Member at 216-D and all future Mutual Members at 216-D.
- G.5. Member shall be responsible for all activity by contractors, subcontractors, material suppliers and their employees and agents and any others who perform work on the Property, including any violation of the Mutual's Governing Documents, including, but not limited to, traffic and parking violations, maintenance of a clean job site at all times, damage to Mutual property, and use of Mutual property for storage of equipment or materials without prior approval. Member acknowledges and agrees that all such persons are his/her invitees. Member shall be responsible for informing all his/her invitees of the Mutual's Rules and Regulations.
- G.6. Member shall be liable for any violation of the Mutual's Governing Documents by any invitee, including any fine, assessment or other charge levied in connection therewith.
- G.7. Member is responsible for following the gate clearance process (http://www.lagunawoodsvillage.com/residents/resident-services and click on

- documents and Business Pass Application Instructions) in place to admit contractors and other invitees.
- G.8. Member's contractors and other invitees shall have business signage on vehicles and travel to and from the job site by the most direct route available and are not authorized to use Mutual recreational facilities or other amenities while they are in the Village for performance of work in connection with the Property.
- G.9. Parking of contractors or other invitees' vehicles is prohibited in covered resident parking, open resident spaces, handicapped spaces or fire lanes. Contractors or other invitees must park on the street. To the extent possible contractors' or other invitees' vehicles should be limited in number.
- G.10. Must obtain an approved Mutual Consent application within 180 days or 6 months of the variance approval before it is expired.
- G.11. A City of Laguna Woods permit may be required, which may include the requirement to obtain clearance from the South Coast Air Quality Management District (Asbestos Hot Line at (909) 396-2336). Prior to the issuance of a City of Laguna Woods permit an applicant must present the approprite Mutual Consent issued by Manor Alterations to the City. Please complete this step with Manor Alterations prior to submitting an application to the City. Once the City issues a Building Permit, you must submit a copy of the permit with the permit number to Manor Alterations. The City permit must be finalized within the prescribed timeframe, and a copy of the final permit must be submitted to the Division within two weeks.
- G.12. Prior to the issuance of a Mutual Consent for Alterations, a complete set of unit specific plans prepared by a licensed architect or structural engineer depicting the proposed improvement must be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict any required structural modifications ensuring the structural integrity of the building is maintained upon completion of the proposed improvement.
- G.13. All improvements must be installed in accordance with the California State Building Code, and the published Mutual Architectural Alterations Standards, Policies and Guidelines. See http://www.lagunawoodsvillage.com.
- G.14. During construction, work hours established by the Mutual and the Noise Ordinance set forth in the City of Laguna Woods Municipal Code must be

- adhered to at all times.
- G.15. During construction, both the Mutual Consent for Alterations and the City Building Permit must be on display for public view at all times in a location approved by the Division.
- G.16. It is mandatory that no waste or materials associated with the construction be dumped in the Village trash bins; such waste or materials associated with the construction must be disposed of offsite by the contractor.
- G.17. A dumpster is approved for placement at the location identified by Security Staff by calling 949-580-1400. All dumpsters must conform to the Policy for Temporary Containers. Dumpsters must be ordered from the approved City of Laguna Woods waste hauler and must be maintained at all times.
- G.18. Dumpsters must be ordered from the approved City of Laguna Woods waste hauler and must be maintained at all times.
- G.19. A portable bathroom is approved for placement at the location identified by Security Staff by calling 949-580-1400.
- G.20. The Mutual Consent for Alterations expires six months after the date of Notice of Approval issued by Manor Alterations, unless an application is submitted with fees and approved by the Division for an extension. Only one extension for a maximum of an additional six months may be granted.
- G.21. Violations of the forgoing conditions or the Mutual's Governing Documents (See http://www.lagunawoodsvillage.com), including, but not limited to, unpaid assessments, work outside the approved plans, excessive noise, illegal dumping, or working after hours, will result in disciplinary action, which could result in a stop work notice, loss of privileges and/or severe fines to the Member. Such fines left unpaid will result in forfeiture of a portion or all of the Conformance Deposit required above or other legal remedy.
- G.22. Member shall indemnify, defend and hold harmless United Laguna Woods Mutual and its officers, directors, committee Members and agents from and against any and all claims, demands, costs, fines, judgments, settlements and any other costs, expenses, amounts and liabilities arising from Member's improvements and installation, construction, design and maintenance of same.

ATTACHMENT 6

RESOLUTION DRAFT

RESOLUTION 01-23-XX

Variance Request

WHEREAS, Member of 216-D Avenida Majorca, a Madrid style manor, requests Board approval of a variance to convert Laundry Room to Bathroom with new window, and center Living Room and Bedroom windows; and

WHEREAS, a Neighborhood Awareness Notice was sent to Members of affected units notifying them that an application to make an alteration to a neighboring unit had been made and that comments or objections could be made in writing to the Architectural Controls and Standards Committee or in person at the Architectural Controls and Standards Committee Meeting on December 21, 2023; and

WHEREAS, the Architectural Controls and Standards Committee reviewed the variance and moved for approval of the variance to convert Laundry Room to Bathroom with new window, and center Living Room and Bedroom windows;

NOW THEREFORE BE IT RESOLVED, on January 9, 2023, the United Laguna Woods Mutual Board of Directors hereby approve the request to convert Laundry Room to Bathroom with new window, and center Living Room and Bedroom windows; and

RESOLVED FURTHER, all costs for maintenance, repair, renovation, replacement or removal of the improvement, present and future, are the responsibility of the Member at 216-D Avenida Majorca and all future Mutual Members at 216-D Avenida Majorca; and

RESOLVED FURTHER, that the officers and agents of this Corporation are hereby authorized on behalf of the Corporation to carry out the purpose of this resolution.



STAFF REPORT

DATE: December 21, 2023

FOR: Architectural Control and Standards Committee SUBJECT: Revision to Standard 18: Gutters and Downspouts

RECOMMENDATION

Staff recommends that the United Architectural Control and Standards Committee (ACSC) endorse the revised Standard 18: Gutters and Downspouts.

BACKGROUND

The ACSC initiated a review of the current Standard 18: Gutters and Downspouts (Attachment 1) and proposed revisions to the Standard are intended to bring it up to current standards and improved designs. Standard 18 was last revised in June 2019, via Resolution 01-19-49 (Attachment 2).

DISCUSSION

In order to improve the flow capacity of rain gutters and reduce maintenance, staff proposes to revise this standard to use K-style rain gutters (similar to the ones that VMS contractors use when installing or replacing rain gutters).

On November 16, 2023 the ACSC reviewed and voted unanimously to recommend that the Board of Directors approve the revisions to Standard 6.

FINANCIAL ANALYSIS

The proposed revisions to Standard 18 do not impact the budget.

Prepared By: Baltazar Mejia, Maintenance & Construction Assistant Director

Reviewed By: Alan Grimshaw, Manor Alterations Manager

Gavin Fogg, Manor Alterations Supervisor

ATTACHMENT(S)

Attachment 1 – Current Standard 18: Gutters and Downspouts

Attachment 2 – Current Resolution 01-19-49

Attachment 3 - Redlined Revised Standard 18: Gutters and Downspouts

Attachment 4 – Final Draft Standard 18: Gutters and Downspouts

Attachment 5 – Proposed Resolution 01-23-XX



STANDARD 18: GUTTERS & DOWNSPOUTS

OCTOBER 2010, RESOLUTION 01-10-224
GENERAL REQUIREMENTS REVISED JUNE 2011, RESOLUTION 01-11-104
GENERAL REQUIREMENTS REVISED JANUARY 2016, RESOLUTION 01-16-08
GENERAL REQUIREMENTS REVISED JUNE 2018, RESOLUTION 01-18-57
REVISED NOVEMBER 2018, RESOLUTION 01-18-113
REVISED JUNE 2019, RESOLUTION 01-19-49

1.0 GENERAL REQUIREMENTS

SEE STANDARD SECTION 1: GENERAL REQUIREMENTS

2.0 APPLICATIONS

- **2.1** Gutters must be a minimum 5" wide, measured at the top.
- 2.2 Alteration aluminum gutters and downspouts are not allowed to be connected to original steel gutters and downspouts. If the alteration gutter system must be connected to an original steel gutter system, the Member is responsible for replacing the original steel gutter system with new aluminum that matches the original style and color.
- 2.3 Gutters are to be made of aluminum with a minimum gauge of .027. Vinyl coated aluminum is permitted. Copper or steel gutters and downspouts are not permitted.
- **2.4** Gutters are required to slope one inch for every 20 feet toward the downspout.
- **2.5** Gutters in excess of 35 feet in length are to be sloped down both directions from the middle and have a downspout installed at each end.
- **2.6** Gutters attached to the Mutual owned fascia are required to be attached using ring shank spikes or wood screws. Smooth, striated and spiral spikes are prohibited.

- **2.7** Hidden hangers and spikes are required to be spaced at a minimum of 30 inch.
- 2.8 All penetrations must be properly sealed. Exposed wood must be properly primed and painted to match the existing paint of the building.
- 2.9 Applications to roofs where hangers penetrate or may harm the roofing in any way will not be allowed. Attachments to buildings with PVC roofs are required to be approved by the Alteration Division prior to installation. Member shall be responsible for all damages to roofs.
- **2.10** Downspouts are required to be 3" x 4" and are to be located in areas free from obstacles such as electric meters, hose bibs and sidewalks; and in the most inconspicuous location as possible.

The ends of downspouts must drain into a proper drainage system such as a drywell, or onto pavement, or a splash block that routes the water at least five feet downhill from the foundation of the building and onto properly graded soil.

2.11 Drywells must be five feet away from buildings, if possible.

RESOLUTION 01-19-49 REVISE ALTERATION STANDARD 18: GUTTERS AND DOWNSPOUTS

WHEREAS, the Architectural Controls and Standards Committee recognizes the need to amend Alteration Standards and create new Alteration Standards as necessary; and,

WHEREAS, the Architectural Controls and Standards Committee recognizes the need to revise Alteration Standard 18: Gutters and Downspouts.

NOW THEREFORE BE IT RESOLVED, June 11, 2019, that the Board of Directors of this Corporation hereby adopts the revisions to Alteration Standard 18: Gutters and Downspouts, attached as part of the official minutes of this meeting;

RESOLVED FURTHER, that Resolution 01-18-113, adopted November, 2018, is hereby superseded and cancelled; and

RESOLVED FURTHER; that the officers and agents of this Corporation are hereby authorized on behalf of the Corporation to carry out this resolution as written.



STANDARD 18: GUTTERS & DOWNSPOUTS

OCTOBER 2010, RESOLUTION 01-10-224
GENERAL REQUIREMENTS REVISED JUNE 2011, RESOLUTION 01-11-104
GENERAL REQUIREMENTS REVISED JANUARY 2016, RESOLUTION 01-16-08
GENERAL REQUIREMENTS REVISED JUNE 2018, RESOLUTION 01-18-57
REVISED NOVEMBER 2018, RESOLUTION 01-18-113
REVISED JUNE 2019, RESOLUTION 01-19-49
REVISED [DATE], RESOLUTION 01-23-XX

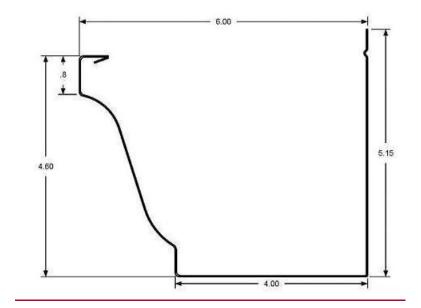
1.0 GENERAL REQUIREMENTS

SEE STANDARD SECTION 1: GENERAL REQUIREMENTS

2.0 APPLICATIONS

- **2.1** Gutters_must be a minimum 5" wide, measured at the top.shall be installed per industry standards and slopped towards the downspouts.
- 2.2 Downspouts shall be installed at intervals appropriate for its installation in compliance with The Sheet Metal and Air Conditioning Contractors' National Association (SMACNA). No downspout may be installed that will drain into an area that will affect surface drainage in an adverse way. Alteration aluminum gutters and downspouts are not allowed to be connected to original steel gutters and downspouts. If the alteration gutter system must be connected to an original steel gutter system, the Member is responsible for replacing the original steel gutter system with new aluminum that matches the original style and color.
- 2.3 Installations to roof systems where hangers penetrate or may harm the roofing material in any way are prohibited. Gutters are to be made of aluminum with a minimum gauge of .027. Vinyl coated aluminum is permitted. Copper or steel gutters and downspouts are not permitted.
- 2.4 All gutters are to be 6-inches wide as measured across the top.

 Gutters are to be made of painted aluminum with a minimum
 gauge of .027. Vinyl coated aluminum is permitted. Copper and
 steel gutters or downspouts are not permitted. Gutters are
 required to slope one inch for every 20 feet toward the downspout.



All downspouts to be sized appropriately for the area that is being drained and must match the color of existing guttering. Gutters in excess of 35 feet in length are to be sloped down both directions from the middle and have a downspout installed at each end.

- 2.6 Termination of a downspout shall not allow water flowing out of a downspout to flow back towards the building. A combination of downspout and splash blocks may be used to achieve positive drainage way from building. Gutters attached to the Mutual owned fascia are required to be attached using ring shank spikes or wood screws. Smooth, striated and spiral spikes are prohibited.
- 2.7 Downspouts that terminate directly into a drain inlet must provide a 1-inch air gap at point of transition. Hidden hangers and spikes are required to be spaced at a minimum of 30 inch.
- 2.8 Gutters and downspouts will be of the same color to match the surface they are attached to. All penetrations must be properly sealed. Exposed wood must be properly primed and painted to match the existing paint of the building.
- 2.9 Alteration aluminum gutters and downspouts are not to be connected to original steel gutters and downspouts. If the alteration gutter system must be connected to an original steel gutter system, the Member is responsible for replacing the original steel gutter system with new aluminum that matches the original style and color. Applications to roofs where hangers penetrate or may harm the roofing in any way will not be allowed. Attachments to buildings with PVC roofs are required to be approved by the Alteration Division prior to installation. Member shall be responsible for all damages to roofs.
- 2.10 Gutters attached to the Mutual owned fascia are required to be attached using hidden hangers and be spaced at a minimum of 30-inches. Smooth striated and spiral spikes are prohibited. Downspouts

are required to be 3" x 4" and are to be located in areas free fromobstacles such as electric meters, hose bibs and sidewalks; and inthe most inconspicuous location as possible.

The ends of downspouts must drain into a proper drainage system—such as a drywell, or onto pavement, or a splash block that routes the water at least five feet downhill from the foundation of the building and onto properly graded soil.

- 2.11 All penetrations must be properly sealed. Exposed woods must be primed and painted to match the existing paint of the building. Member will be responsible for all damagers to roof or fascia. Drywells must be five feet away from buildings, if possible.
- **2.11**2.12 Utilize downspouts fittings that facilitate water flow. No sharp angle fittings are allowed.



STANDARD 18: GUTTERS & DOWNSPOUTS

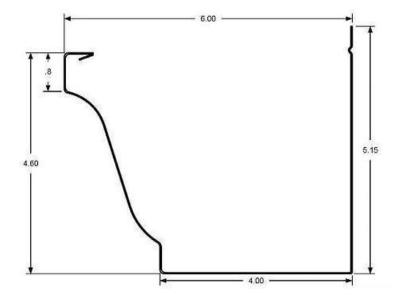
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REVISED [DATE], RESOLUTION 01-23-XX

1.0 GENERAL REQUIREMENTS

SEE STANDARD SECTION 1: GENERAL REQUIREMENTS

2.0 APPLICATIONS

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- 2.2 Downspouts shall be installed at intervals appropriate for its installation in compliance with The Sheet Metal and Air Conditioning Contractors' National Association (SMACNA). No downspout may be installed that will drain into an area that will affect surface drainage in an adverse way.
- 2.3 Installations to roof systems where hangers penetrate or may harm the roofing material in any way are prohibited.
- 2.4 All gutters are to be 6-inches wide as measured across the top. Gutters are to be made of painted aluminum with a minimum gauge of .027. Vinyl coated aluminum is permitted. Copper and steel gutters or downspouts are not permitted.



- 2.5 All downspouts to be sized appropriately for the area that is being drained and must match the color of existing guttering.
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- **2.11** All penetrations must be properly sealed. Exposed woods must be primed and painted to match the existing paint of the building. Member will be responsible for all damagers to roof or fascia.
- **2.12** Utilize downspouts fittings that facilitate water flow. No sharp angle fittings are allowed.

RESOLUTION 01-23-XX STANDARD 18: GUTTERS AND DOWNSPOUTS

WHEREAS, the Architectural Control and Standards Committee recognizes the need to amend Standards and create new Standards as necessary; and

WHEREAS, the Architectural Control and Standards Committee recognizes the need to revise Alteration Standard 18: Gutters and Downspouts;

NOW THEREFORE BE IT RESOLVED, [DATE], that the Board of Directors of this Corporation hereby adopts Standard 18: Gutters and Downspouts as attached to the official meeting minutes; and

RESOLVED FURTHER, that Resolution 01-19-49 adopted June 11, 2019, is hereby superseded in its entirety and no longer in effect; and

RESOLVED FURTHER; that the officers and agents of this Corporation are hereby authorized on behalf of the Corporation to carry out this resolution as written.

JANUARY INITIAL NOTIFICATION: Should the Board endorse the proposed revisions, Staff recommends that a motion be made and seconded to accept the resolution and allow discussion to ensure that the resolution reads to the satisfaction of the Board. Staff then recommends that a Board Member postpones the resolution to the next available Board Meeting no less than 28-days from the postponement to comply with Civil Code §4360